



Kingseast

Design Guidelines
Incorporating Environmental Principles.
May 2019



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The Environmental Principles (EP) sections of the Design Guidelines will help you make an informed decision when designing a new home. A house design that adopts the Environmental Principles will suit the Northern Rivers climate.

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1. Design Guidelines



EP. Environmental Principles

EP.1 KINGSCOAST ENVIRONMENTAL PRINCIPLES

Kingscoast follows Environmental Principles, across six key areas – ecosystems, waste, energy, materials, water and community.

The Environmental Principles are incorporated into the Design Guidelines to help you make an informed decision when designing a new home. Your design choices will impact how your new home will respond to ongoing energy and water costs, as well as determine how suitable the home will be to the Northern Rivers climate.

EP.2 SUSTAINABLE LIVING

Sustainable living is becoming increasingly important to:

- Offset household running costs,
- Protect the investment you make in your home, and
- Reduce environmental impacts.

Fortunately, there are many ways in which you can incorporate energy efficiency into the design of your home. These will deliver real and ongoing savings on water, gas, and electricity while making your home more livable, and protecting the environment.

There are specific guidelines in place to increase home energy and water efficiency. These include: a six star or better rating on all new homes, water saving shower heads and water taps, and appliances such as air conditioners must meet higher energy efficiency standards.

The Environmental Principles inform you of a range of choices available that can improve the efficiency of your home.

EP.3A KINGSCOAST CLIMATE

Kingscoast is classified as a subtropical climate.

Key elements of the hotter, wetter summer months and the colder, drier winter months are:

CLIMATE CHARACTERISTICS	SUMMER DECEMBER-FEBRUARY	WINTER JUNE-AUGUST
DAY TEMPERATURES: Average maximum*	27.9°C	20.5°C
NIGHT TEMPERATURES: Average minimum*	20.0°C	9.1°C
RAINFALL: Average monthly*	169.2 mm	133.9 mm
BREEZES: Average direction at 3pm*	N/E – E – S/E Direction	E Direction

Information obtained from www.bom.gov.au at Ballina Airport AWS. *Mean average.

EP.3B KINGSCOAST TOPOGRAPHY & VIEWS

Kingscoast is located on an elevated platform. This elevated topography allows:

- Access to panoramic Eastern coastal views.
- Access to Easterly morning sun solar access.
- Access to Easterly sea-breezes – which can be incorporated into the design of the house & landscaping.
- Particular lots have access to views of surrounding hinterland.

1. Design Guidelines

1.1 INTRODUCTION

The Kingscoast masterplan will create a vibrant and diverse community that lives in harmony with nature, connects to the surrounding residential areas and open spaces, and contributes to housing choice and healthy living in the Northern Coast Region of NSW.

The focus at Kingscoast will be a healthy community life, fostering social interaction and activity. A connected network of streets, pedestrian and cycle paths provide the opportunity for walking and cycling to help achieve this vision.

These guidelines ensure the delivery of high standards of residential amenity, with modern residential living for a variety of building styles and types, to meet diverse community needs.

All buyers must seek a design approval prior to construction to ensure that all Kingscoast housing and landscaping meets the standards set out in this document. Documentation is to be submitted to the Design Assessment Panel (D.A.P.) before review by a building certifier or submission to the Tweed Shire Council (T.S.C).

The D.A.P. can be contacted as follows:
E. dap@kingscoast.com.au

1.2 THE PROCESS

Firstly, decide which plan or code that you will apply for D.A. approval under:

- Apply for D.A approval from the 'Tweed Shire Council' under the Tweed D.C.P Part A 2008 or
- Apply for D.A approval from a 'Private Certifier' under the SEPP. Housing Code 2008. Noting that the private certifier must approve the lot as being 'complying'.

Note. The D.C.P approval process does allow for applications for relaxations, while the Housing Code does not.

Confirm which plan or code that you will apply for approval under and then submit:

- A complete set of working drawings, landscaping drawings, colour and material selections must be submitted for D.A.P approval. A D.A.P approval must be issued before plans can be submitted for D.A.

Note. D.A.P, D.A & C.C approvals must be obtained before any earthworks or construction begins.

The full checklist of the design guidelines for D.A.P is found in Section 11.0

Any conditions of the approval issued by the D.A.P. must be met by the builder and the owner.

DECIDE WHICH PLAN OR CODE THAT YOU WILL APPLY FOR A D.A. APPROVAL UNDER:

TWEED DCP
2008 PART A

SEPP HOUSING
CODE 2008

READ
PLANNING
RULES

Read and understand:

- Tweed DCP Part A, or
- SEPP Housing Code 2008
- Tweed Local Environmental Plan,
- Relevant NSW Policies, and
- BASIX requirements and processes

READ
GUIDELINES

Read and understand

- Kingscoast Design Guidelines

DESIGN INC.
BASIX

Design your home responding to:

- BASIX requirements
- Tweed DCP Part A, or
- SEPP Housing Code 2008
- Kingscoast Design Guidelines.
- Obtain a BASIX certificate.

SUBMIT
TO D.A.P.

Submit your home and landscape design for Design Assessment Panel (D.A.P.) review

- Attach BASIX certificate
- Obtain approval or conditional approval
- May require resubmission if non-compliant design

APPLY FOR
(D.A.)

Either:

- Apply for (D.A) Tweed Shire Council development application, or
- Apply to private certifier for 'Compliant Development Certificate' under SEPP Housing Code 2017
- Attach BASIX certificate

APPLY FOR
(C.C)

Apply for (C.C.) construction certificate once D.A is obtained

- Attach BASIX certificate before starting building work landowner must appoint (P.C.A) Principal Certifying Authority. Inspections by P.C.A during construction.

OBTAIN
FINAL (O.C)

Apply for (O.C.) occupation certificate

- Obtain final (O.C) and BASIX completion receipt.

1.3 COMPLIANCE

These Design Guidelines take precedent over both the:

- Tweed Shire D.C.P
- SEPP Housing Code

These Design Guidelines set out key elements included in the compliance tables for the:

- D.A.P Kingscoast Design Guidelines
- The Tweed Shire Council D.C.P
- SEPP Housing Code

EXAMPLE COMPLIANCE TABLE X.X	
KINGSCOAST DESIGN GUIDELINES	
DAP Requirement	
Tweed Shire Council D.C.P 2008, Part A	SEPP Housing Code 2008
DCP requirement (DCP- Element)	SEPP requirement (HC- Element)
Applicants to refer to the full DCP or Code for complete requirements	

1.4 LIMITATIONS OF ASSESSMENTS BY D.A.P

While the Kingscoast buyer's contract is accurate to the best of the developer's ability, it is subject to change and is binding only on the buyer. Prospective buyers should refer to the contract and make their own enquiries to satisfy themselves in relation to the land, the restrictions which apply to building on the land and to any aspect of the land, which is of importance to them.

The D.A.P. and the seller do not warrant that plans approved by D.A.P, will be approved by a building certifier or any other authority, and it should be noted that the Kingscoast Design Guidelines contain only 'KEY ELEMENTS' from the:

- Tweed DCP Part A or,
- SEPP. Housing Code

It is the responsibility of the buyer to meet all the requirements of the Tweed Shire Council Policies; Tweed Shire Development Control Plan (DCP) 2008; Cumbalum Views – Precinct A-DCP; Tweed Local Environmental Plan (BLEP) 2014, the NSW State Environmental Planning Policies (SEPPs) including the Housing Code 2008 and the Tweed Shire Development Approval and any other statutory authority responsible for the construction of improvements on the land.

The completed development must be certified by a registered building certifier as following the NCC (previously the BCA) before occupation. Engineering and sustainability BASIX will be required to achieve this.

It is the responsibility of the owner and the builder to ensure that they have a copy of the Sales Plan and that they have determined the location of all services and easements on the lot. The co-ordination of the services, earthworks and dwelling is the responsibility of the owner/builder.

Buyers will not be entitled to require the D.A.P. or the seller to enforce the Guidelines against any other buyer or any other lot at Kingscoast.



2. Masterplan





TWEED COAST RD

Public Reserve

BOWEN WAY

JULIUS WAY

BOWEN WAY

PRICHARD PLACE

Public Reserve

BOWEN WAY

BOWEN WAY





3. Definitions & Lot Type Plans



3. Definitions and Lot Type Plans

3.1 LOT CONFIGURATION DIAGRAMS

The lot configuration diagrams confirm;

A **standard lot** abuts other lots on each side and rear boundary, and has a primary frontage only.

A **corner lot** has both primary and secondary street frontages that require two façade treatments.

DETACHED HOUSE LOT TYPES – FIGURE 3.1.1



Standard Lot



Corner Lot – Dual Frontage

3.2 ROAD FRONTAGES

The Road Frontages map confirms the road frontage hierarchy for each of the lots, for setbacks, fencing, wall articulation, colours & material requirements.

Refer to the Appendix for Road Frontage Type Map – Figure 3.2.1

3.3 LOT FRONTAGE TYPES

The Lot Frontage Type map confirms;

1. Flat frontage lots – are lots where grade of road frontage is 0% – 5%. (0 to 1:20).

The below Lot Frontage types are illustrated on the Lot Frontage Types diagrams.

LOT FRONTAGE TYPES – FIGURE 3.3.2



Refer to the Appendix for Lot Frontage Type Map – Figure 3.3.1

Flat 0% – 5%. (0 to 1:20)

3. Definitions and Lot Type Plans

3.4 BUSHFIRE REPORT OVERLAY MAP

The Bushfire Overlay map confirms; All lots where a detached house is proposed must refer to 'current' Bushfire Management Report.

**Refer to the Appendix for
Bushfire Hazard Overlay Map – Figure 3.4.1**

3.5 ACOUSTIC TREATMENTS OVERLAY MAP

The Acoustic Treatments Overlay map confirms; There is currently no known lots that require acoustic management.

3.6 MOSQUITO TREATMENTS OVERLAY MAP

The Mosquito Treatments Overlay map confirms; There is currently no known lots that require mosquito treatment.

3.7 NEIGHBOURHOOD PLAN

The Neighbourhood Plan – Figure 3.5.1 confirms; The siting arrangement of all lots must comply with the arrangements of the Neighbourhood Plan. The Neighbourhood Plan represents a detailed coordination process, considers built form outcomes, and avoids conflicts with services and between adjacent dwellings.

The Neighbourhood Plan includes:

1. Mandatory locations of

- Driveways & driveway crossover offsets.

2. Nominal locations of

- Building entry – mandatory 1.5m deep front balcony, entry & porches.
- Private open space.
- Alternative driveway position – on corner lots only.

3. Design locations of infrastructure

- Storm-water lines – offsets to infrastructure required.
- Sewer lines – offsets to infrastructure required.
- Developer built civil retaining walls – offsets required.
- Approximate level change between lots.
- Pad mounted transformer site – offsets required.
- Extent of developer built fences – not to be removed.
- Vistas lines from neighbouring roads – façade/landscape treatments to respond to vista.

4. Refer to specific design element sections for further explanations and requirements of approved elements.

The developer retains the right to relax some of the mentioned locations, however these relaxations will be in special circumstances only. The developer retains the right to refuse applications for relaxation.

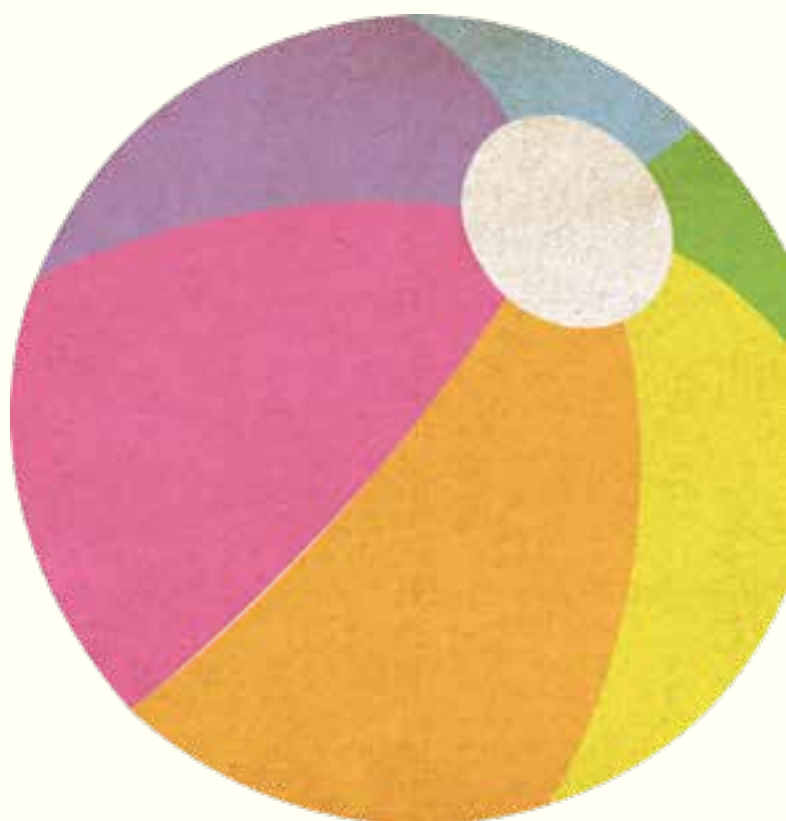
**Refer to the Appendix for
Neighbourhood Plan – Figure 3.5.1**



3.8 ACID SULPHATE SOIL MAP

COMPLIANCE TABLE 3.8	
KINGSCOAST DESIGN GUIDELINES	
The developer has confirmed by survey the extent of Acid Sulphate soil mapping, as an overlay map	
Tweed Shire Council D.C.P 2008, Part A	SEPP Housing Code 2008
<ul style="list-style-type: none"> • Class 3 - development is compliant under the current SEPP Housing Code • Therefore lot owner/ builder can currently utilise both the Tweed Shire Council D.C.P & the SEPP Housing Code 	<ul style="list-style-type: none"> • Class 3 - development is compliant under the current SEPP Housing Code • Dwellings on Class 3 acid sulphate soils lots must be designed to address this hazard in accordance with the Tweed Shire L.E.P.
Refer to Appendix for Acid Sulphate Soils Map - Figure 3.6.1	

COMPLIANCE TABLE 3.9	
KINGSCOAST DESIGN GUIDELINES	
The developer has confirmed by survey the extent of Coastal management mapping, as an overlay map	
Tweed Shire Council D.C.P 2008, Part A	SEPP Housing Code 2008
<ul style="list-style-type: none"> • Lots within the 100m proximity area to the Coastal Wetlands - development that would not be compliant under the SEPP Housing Code • Therefore lot owner/ builder can only utilise the Tweed Shire Council D.C.P 	<ul style="list-style-type: none"> • Lots completely outside the 100m proximity area to the Coastal Wetlands - development that would not be compliant under the SEPP Housing Code • Lot owner to confirm compliance with their own certifier • Dwellings within the 100m proximity area to the coastal wetlands must be designed to address this clause in accordance with the SEPP Coastal Management Plan 2018
Refer to Appendix for Coastal Management Map - Figure 3.7.1	



4. Building & Landscaping Approval Procedure



4. Building & Landscaping Approval Procedure

4.1 PRIOR TO CONSTRUCTION

The Kingscoast Design Guidelines assessment is a simple, one step process. To obtain approval, buyers or their builder are required to submit a full set of working drawings showing the complete development of the land, including confirmation of which plan or code that they are to have their D.A. assessed under. The working drawings must be accompanied by a landscaping drawing and a complete depiction of the intended colours and materials.

A submission checklist is provided in Section 11.

Incomplete applications will not be reviewed. The buyer will be notified by email that certain documents are still required to be submitted before a review will be carried out. Once the outstanding documents have been received the submission will be reviewed.

If the submission complies with the requirements of this document, an approval will be issued. If there are elements, which do not comply fully, but can be easily resolved by the builder, these will be noted as conditions of approval. The conditions will be listed in the letter of approval and noted on the drawings, copies of which will be attached to the approval.

If there are too many items that are non-compliant, the submission will be returned to the buyer with a brief description of the problems with the submission.

The onus will be on the builder and/or the owner to review the design submitted in relation to this document, and re-submit an amended design, which does comply.

Approvals will be issued by email. A hard copy can be mailed to the owner on request.

4.2 BASIX APPROVAL

Buyers should note that the D.A.P. will not be reviewing any of the elements required for BASIX approval.

- Except elements that effect streetscape

4.3 DUAL OCCUPANCY APPROVAL

Buyers should note that the D.A.P. will not be reviewing any of the elements required for Dual Occupancy approval.

4.4 LOCAL AUTHORITY APPROVAL (D.A)

Once plans have been approved in writing by the D.A.P., drawings can be submitted to either:

- the T.S.C for D.A. approval under the Tweed DCP Part A or
- a private certifier for D.A approval. under the SEPP Housing Code 2008 (if compliant).

Construction Approvals must be obtained from your certifier before construction commences.

4.5 ON COMPLETION

Once the following milestones have been met:

- The building has been completed in accordance with the approved building plans, and all the conditions of the approval have been met.
- The landscaping has been installed in accordance with the approved landscaping plan, and all the conditions of the approval have been met.
- A photo record of the building and landscape and fences from the streetscape is to be submitted.

EP. 4 KINGSCOAST ENVIRONMENTAL PRINCIPLES

Kingscoast seeks to achieve exceptional sustainability outcomes. Kingscoast will aim to achieve this important outcome by focusing on the following key areas:

Ecosystems

Protect and enhance native ecosystems and ecological function, and rehabilitate degraded sites.

Waste

Implement waste management procedures and practices to reduce the amount of waste to landfill and facilitate recycling.

Energy

Implement measures to optimise energy reduction across the project beyond current regulatory requirements.

Materials

Utilise environmentally responsible materials and construction methods to lower environmental impact of materials usage.

Water

Implement measures, which reduce potable water use, across the project beyond current regulatory measures.

Community

Encourage healthy and active lifestyles, community spirit, local facilities, alternative transport models, and accessible and flexible design that welcomes a diversity of people and adapts to their changing needs.

5. Objectives of the Guidelines



5. Objectives of the Guidelines

5.1 GENERAL PRINCIPLES.

DESIGNING IN NORTH COAST NSW

The following guidelines have been developed to ensure that quality housing is constructed at Kingscoast, and that the amenity of the development and buyers investment is protected.

These guidelines promote:

- Well-articulated façades and roof lines – noting on corner sites, side elevations become more important.
- Contemporary designs, relevant to modern living in 'North Coast' New South Wales.
- Elevated/two storey dwellings maximising views.
- The use of appropriate buildings materials, patterns, textures and colours.
- Colour and landscape palette is relevant to Coastal location.
- Masonry and lightweight dwellings with decks responding to site climate.
- Installation of generous & deep front porches, patios, balconies, terraces and deeper eaves.
- Building siting and internal room arrangements to take advantage of views and preserve privacy.
- Landscape of a scale and quality to soften impact of two storey houses upon the streetscape.
- Quality landscaping and fencing to be coordinated.
- Sustainable living principles, such as large eaves and louvred screens.
- Clerestory windows and split level design.
- Passive surveillance to streets and pathways.
- Variety of house designs (Refer 6.7.1 – Façade Variation). Before choosing or designing your home, it is important to consider how the features of the allotment might influence the location and layout, to improve your family's lifestyle, and the neighbourhood as a whole.

Factors to consider include:

- Site levels.
- Private open space location.
- Service and easement locations.
- Estate fencing locations.
- CPTED principals.
- Driveway location (Refer Figure 3.5.1).
- Setbacks – requirements of Tweed Shire & SEPP Housing Code may differ to other authorities in Australia.
- Home entry and street address.
- Relationship of your house to those on adjoining properties – particularly with respect to garage locations and façade selection.

5.2 RESIDENTIAL CHARACTER.

CONTEXT OF NORTH COAST NSW

The D.A.P. & SEPP & DCP will require façades to be articulated by means of shading elements and steps in wall planes and roof planes. This articulation is required to the front façades and to sections of the side façades, which are visible from the street.

Where a home is on a corner lot with a dual frontage, the colours and materials used on the primary frontage are to return along the side façade on the secondary frontage.

Side elevations on corner lots require additional articulation.

Shading elements may include eaves, a portico, window hoods and surrounds.

Articulation should be emphasised using feature materials and contrasting colours, within a harmonious colour scheme.

The developer will be encouraging façades, landscapes and streetscapes that complement the established 'North Coast NSW Character', reinforcing the local character described in the 'North Coast Urban Design Guidelines'.

Houses are to be suitable to the North Coast NSW:

- Simply and holistically in theme as a single, well-articulated structure.
- Articulated with well resolved and integrated detailing.
- Have a balanced distribution of suitable materials and colours.
- Tuscan style, Colonial, Georgian, as well as rustic finishes, are discouraged by the D.A.P.



6. Design Elements

6.1 SITE WORKS

All planned site earthworks must be clearly indicated on the working drawings. Existing contours and altered contours as well as the floor levels of the dwelling must be indicated on the site plan.

COMPLIANCE TABLE 6.1	
KINGSCOAST DESIGN GUIDELINES	
Cut and fill is generally not to exceed 1000mm in height	
Tweed Shire Council D.C.P 2008 – Part A	SEPP Housing Code 2008
Excavation / Filling	Excavation
Slope = 0.6° or 0-10% - Cut allowance = 1m - Fill allowance = 1m	Excavation < 1m Excavation from boundary - Cut allowance = 1m
Slope = 6-8° or 10-14% - Cut allowance = 2m within building footprint - Fill allowance = 1m	Excavation (x) 1m < x < 1.5m from boundary - Cut allowance = 2m Excavation > 1.5m from boundary - Cut allowance = 3m
Slope = 8-12° or 14-21.5% - Cut allowance = 2m within building footprint - Fill allowance = 1m (TDCP – 2.1)	Filling If fill is an addition to a dwelling house, then the allowance is 1m If fill is for any other purpose, then the allowance is 600mm (HC – 3.30)
Applicants to refer to the full DCP or Code for complete requirements	

Where the slope of the land necessitates a greater extent of cut and fill than 1000mm, an engineer's certificate will be required as part of the submission to certify the design of the retaining wall.

6.2 SPECIFIC TO LONG VIEWS

Clients and designers should visit their specific lot, and establish how to best orientate and design your dwelling to maximise long views.

The D.A.P. may be able to provide you with submitted designs of neighbouring lots. This may assist you in siting your dwelling, the layout of habitable rooms, and the design of your private landscape open spaces.



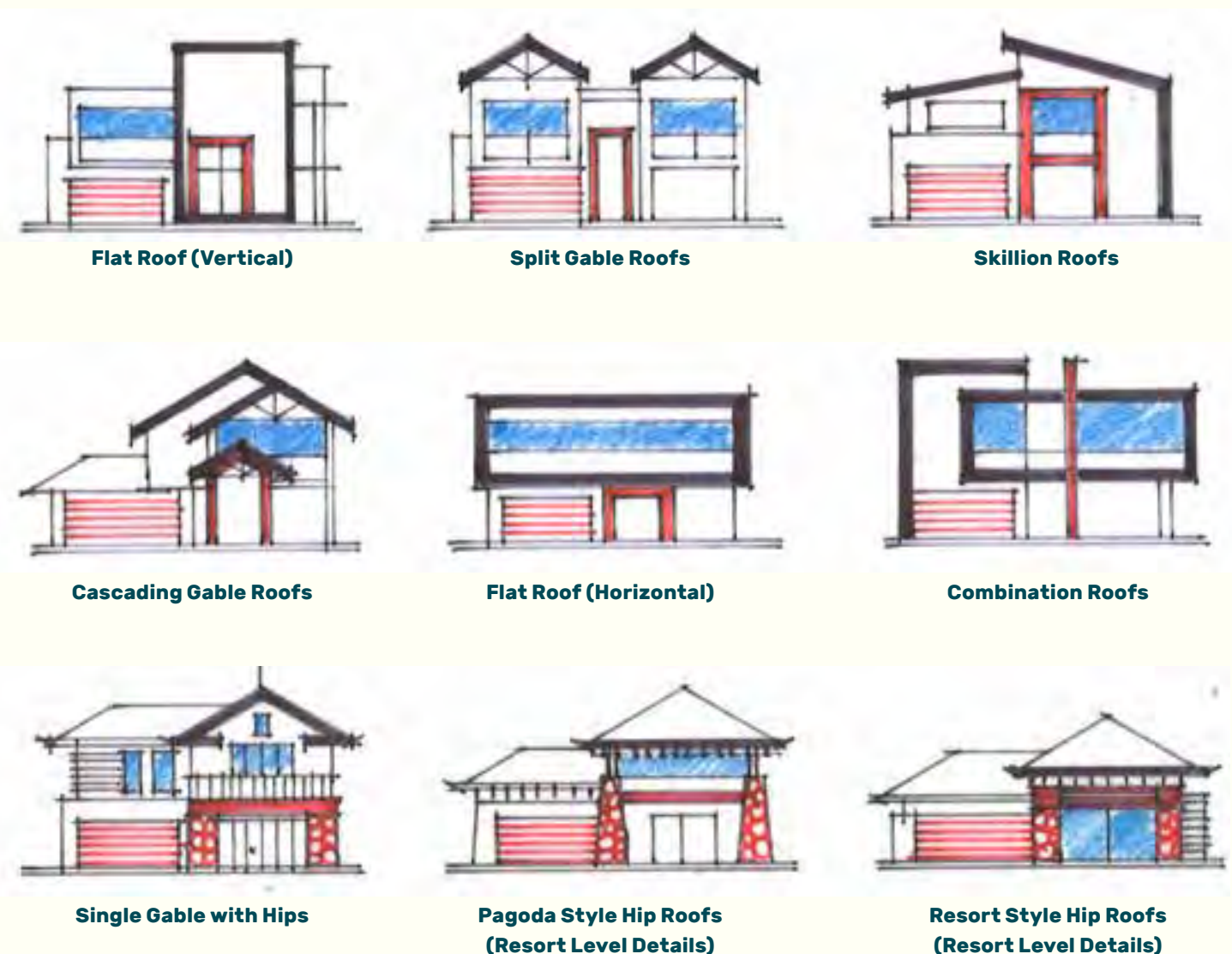
6. Design Elements

6.3 NORTH COAST ACCEPTABLE ROOF FORM, MATERIALS AND COLOURS

Roofs must be designed and articulated to reinforce the local character with strong roof forms and generous overhangs, deep porches and balconies.

6.3.1 ACCEPTABLE ROOF TYPES

FIGURE 6.3.1.1





COMPLIANCE TABLE 6.3.1

KINGSCOAST DESIGN GUIDELINES

- Pitched roofs (hip or gable) at minimum of 25 degrees.
- Please note that all street façades will not be approved with single hips or gables, the roof plan selected for the house should result in the visible roof having steps, hips and valleys or some variation in the ridge levels, giving the roof visual interest.
- D.A.P. requires modern skillion roofs at minimum 10 degrees (this is greater than Tweed Shire D.C.P minimum of 5 degrees).
- Flat or parapet roofs are allowed if they are composed in a strong vertical or horizontal composition and complemented with deep balconies and deep hoods and cantilevers. (They will be subject to special approval by D.A.P.).
- Mandatory requirements for eaves of at least 450mm to North, East & West façades, to make up at least 75% of the total wall length. For modern skillion roofs, hoods and awnings can meet the above requirement, over openings.
- Tweed Shire D.C.P permits up to 600mm eaves outside the building envelope.
- Deeper eaves for street-front facades are encouraged.
- Bespoke fascia, soffit and downpipe details are encouraged.
- Your BASIX certificate may require deeper than 450mm eaves.
- Allow for wide gutters to handle heavy rainfall.
- Hipped Roofs (without resort/pagoda details) are not acceptable.
- Curved Roofs are not acceptable.
- Dutch Gables are not acceptable.

FIGURE 6.3.1.2

Flat Roofs (Vertical)



Split Gable Roofs



Flat Roofs (Horizontal)



Cascading Gable Roofs & Single Gables within Hips



Skillion Roofs



Combination Roofs



Resort/Pagoda Style Hip Roofs with Resort Level details



Curved Roofs and Dutch Gables (Not Permitted)



6. Design Elements

6.3.2 ACCEPTABLE MATERIALS FOR ROOF

COMPLIANCE TABLE 6.3.2
KINGSCOAST DESIGN GUIDELINES
<ul style="list-style-type: none">• Colorbond® roof sheeting• Galvanised/zinc roof sheeting products will require higher quality materials, and detailing used on the façades
<ul style="list-style-type: none">• Tiles are not acceptable• Thatch is not acceptable

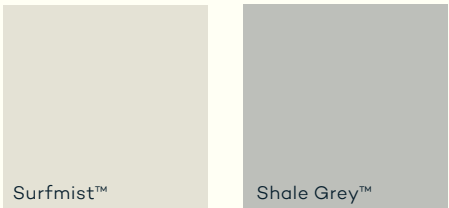
6.3.3 ACCEPTABLE COLOURS FOR ROOF

Colorbond® steel range roofing, walling, gutters, fascia and downpipes. Currently, BASIX describes the Solar Absorbance differently than the BCA. Allowing more colours in the light/ medium range.

ROOF COLOURS PREFERRED

LIGHT – SOLAR ABSORBANCE <0.475

- Surfmist™
- Evening Haze™
- Paperbark™
- Shale Grey™
- Dune™



ROOF COLOURS ACCEPTABLE

LIGHT – SOLAR ABSORBANCE <0.475



MEDIUM – SOLAR ABSORBANCE 0.475 – 0.700

(May require additional roof insulation to achieve BASIX)

- Cove™
- Gully™
- Jasper™
- Windspray™
- Wallaby™
- Basalt™
- Pale Eucalypt™
- Mangrove™
- Woodland Grey™(0.71)



ROOF COLOURS NOT ACCEPTABLE

- Black
- Red
- Green
- Brown
- Cream

The roof of your home is the largest surface area exposed to the sun throughout the entire day. Choosing a light colour that will reflect the heat will reduce the amount of heat entering your home by up to 30%.







6. Design Elements

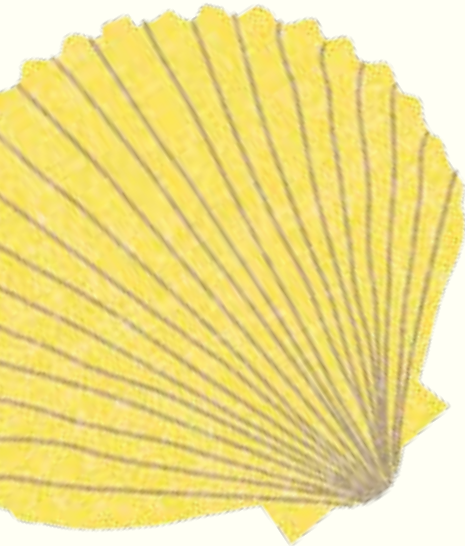
6.4 NORTH COAST. WALL ARTICULATION, MATERIALS AND COLOURS

Visible elevations must be designed to reinforce the local character with simple, modern and articulated façades (stepped or recessed) with interesting detailing. A combination of masonry and lightweight materials is expected, with light, warm and neutral colours to complement the coastal hinterland setting.

6.4.1 FRONT & SIDE WALL ARTICULATION

Primary and secondary street frontages;

- Walls and roofs are to step according to setback requirements (see Section 7) and;
- Front door entries are to be articulated as per Section 6.10 & 6.11.



COMPLIANCE TABLE 6.4.1	
KINGSCOAST DESIGN GUIDELINES	
<ul style="list-style-type: none">- Refer to section 6.11 for mandatory North Coast 1.5m deep balcony, extended entry or porch.- Walls and roofs are to be a max 9m long in one plane and are not to return to that plane unless they have a minimum 1m setback or step-out for a minimum 4.5m length.	
The SEPP Housing Code mandates an additional Articulation Zone on Secondary Road Frontage	
Tweed Shire Council D.C.P 2008 – Part A	SEPP Housing Code 2008
Primary Road Frontages Articulation Zone <ul style="list-style-type: none">- Building elements may project forward of the building line by 1.5m for 25% only.- Dwellings to address street with identifiable entrance & contribute to streetscape. Secondary Road Frontages Articulation Zone Allowed with same rules (TDCP – 3.1)	Primary Road Frontages Articulation Zone <ul style="list-style-type: none">- Building elements may project forward of the building line by 1.5m for 25% only.- Two storey articulation allowed for porch/ balcony etc. Secondary Road Frontages Articulation Zone <ul style="list-style-type: none">- Building elements must project forward of the building line by 1m for 20% only and- must include: A window to a habitable room with an area of at least 1m² facing the secondary road. (HC – 3.14)
Applicants to refer to the full DCP or Code for complete requirements	

6.4.2 ACCEPTABLE WALL MATERIALS INCLUDE:

COMPLIANCE TABLE 6.4.2
KINGSCOAST DESIGN GUIDELINES
<ul style="list-style-type: none">• The front facade must include a minimum of 2 materials and 2 colours.• Painted render. Maximum 30% of the facade• Contemporary lightweight cladding.• Metal sheeting with a factory finish (e.g. Colorbond), used as a feature material.• A limited amount of face brick used as a feature – maximum 30% of the façade (percentage of wall surface excludes garage doors, front door and windows).• Textured coloured concrete.• Natural stone.• Timber, weatherboard, or Colorbond profiled sheeting used as feature panels.• Powder coated or clear varnished window frames with matching screens, louvres, and trims.• Feature façade tiles.• Front door – a pop of colour or custom door.
<p>The following materials will not be permitted</p> <ul style="list-style-type: none">• Large format and/or mottled brick.• Mud brick and rammed earth walls.

6.4.3 ACCEPTABLE WALL COLOURS INCLUDE:

Colours and materials to be neutral earthy tones. Similar, or equivalent to the Colorbond colours in the light/medium range. Variations to this range are at the discretion of the D.A.P., and may not be approved.

A limited amount of bright feature colours may be used, if it is used to highlight a feature element, and is limited to a maximum of 30% of the façade.

Garage door colour is a large component of the façade, therefore must be within the acceptable Colorbond range, or timber, or timber look.



6. Design Elements

WALL/GARAGE DOOR PAINT COLOURS ACCEPTABLE



BRICK COLOURS ACCEPTABLE



BRICK COLOURS NOT ACCEPTABLE

- Black
- Red
- Tan
- Brown
- Orange

FEATURE TILES COLOURS NOT ACCEPTABLE

- Black
- Red

WALL/GARAGE DOOR PAINT COLOURS NOT ACCEPTABLE

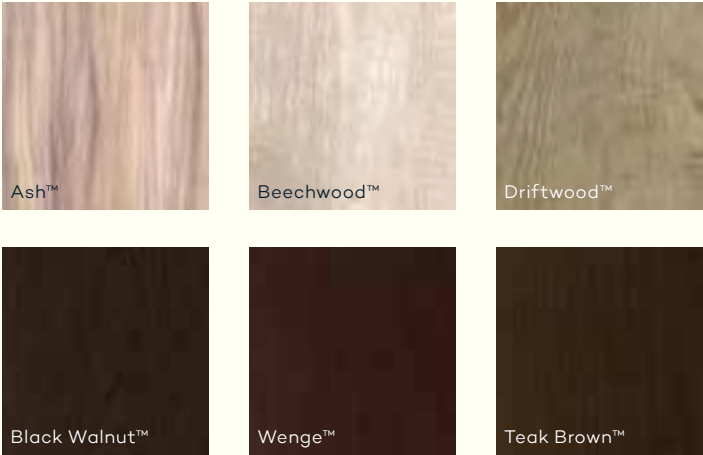
- Black
- Red
- Green
- Brown
- Cream



BLOCK WORK COLOURS ACCEPTABLE



FEATURE TIMBER/GARAGE DOOR COLOURS ACCEPTABLE



BLOCK WORK COLOURS NOT ACCEPTABLE

- Ochre
- Red

FEATURE TIMBER/GARAGE DOOR COLOURS NOT ACCEPTABLE

- Orange
- Red
- Black

FRONT DOOR COLOURS ACCEPTABLE



6. Design Elements

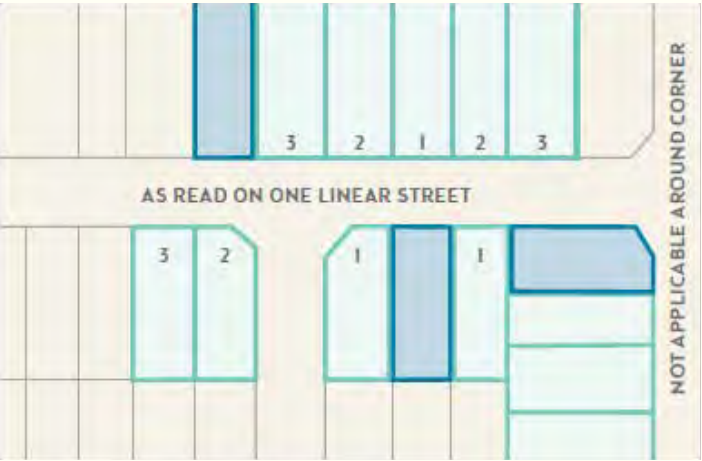
6.5 FAÇADE VARIATION AND ACCEPTABLE VARIATIONS



The D.A.P. keeps a record of submitted & approved façades, to ensure that streetscapes do not have a run of the same or similar façades without a break.

A primary street frontage façade design will not be approved where the same (or overly similar) design has been built or approved within three neighbouring lots, adjacent or opposite, as read on the one linear street. **Refer Figure 6.5.1**

Buyers will be advised if a house with the same or a very similar façade has been approved within three adjacent or opposite lots. In such cases, buyers will be required to select an alternative façade, or to make a significant variation to the articulation of the façade.

FAÇADE VARIATION DIAGRAM – FIGURE 6.5.1











-  First submission received by the D.A.P.
-  Same, or similar façade to blue lot is not allowed.






There is generally a gap of three lots before repeating, as read on the one linear street. This doesn't apply around corners.



FAÇADE VARIATION ACCEPTABLE TYPES. ONE STOREY – FIGURE 6.5.2

NOT ACCEPTABLE		Single Hip or Gable
		Entry in-line with wall
		Extended entry (min. 1.5m deep + overhang)
ACCEPTABLE		Extended entry resort style (min. 1.5m deep + overhang)
		Extended entry/porch wide façade (min. 1.5m deep + overhang)
		Entry porch resort (min. 1.5m deep + overhang)
		Extended Arbour under eaves line (min. 1.5m deep + overhang)
		Extended Entry Clerestorey Style (min. 1.5m deep + overhang)

FAÇADE VARIATION ACCEPTABLE TYPES. TWO STOREY – FIGURE 6.5.3

NOT ACCEPTABLE		No balcony or porch
		Lower porch (min. 1.5m deep)
ACCEPTABLE		Wide balcony and portico strong protecting form 1.5m deep. Wall and garage wall can be inline. (min. 1.5m deep)
		Wide balcony and portico. (min. 1.5m deep)
		Narrow balcony and portico. (min. 1.5m deep)

ACCEPTABLE FAÇADE VARIATION - ONE STOREY Refer Figure 6.5.2

Minimum two (2) design elements need to vary.

Design elements that assist façade variation, in order of most significant to least significant variation, are as follows;

- Roof form.
 - » Porch between split roof.
 - » Porch under eaves.
 - » Porch with portico.
 - » Portico in resort style.
- Roof colour.
- Garage door colour.
- Window arrangement.

ACCEPTABLE FAÇADE VARIATION - TWO STOREY Refer Figure 6.5.3

Because the roof is a less dominant streetscape element in a two storey building. The following design elements that assist variation are also acceptable.

The following design elements that assist variation are also acceptable

- Articulation of wall materials & feature colours.
- Extent of masonry to lower & lightweight to upper floors.
- Balcony supports & balustrade detail.

6.6 COLOUR MATCHING OF LIKE ELEMENTS:

To avoid obtrusive contrasting of elements.

Colours of the following must match.

1. Fascia & gutter to roof.
2. Satellite dishes, antennae & roof ventilators to roof.
3. Mosquito, fly & security screens to window frames.
4. Rendered letterbox to rendered walls.
5. Gate & fence return to front facade or letterbox.

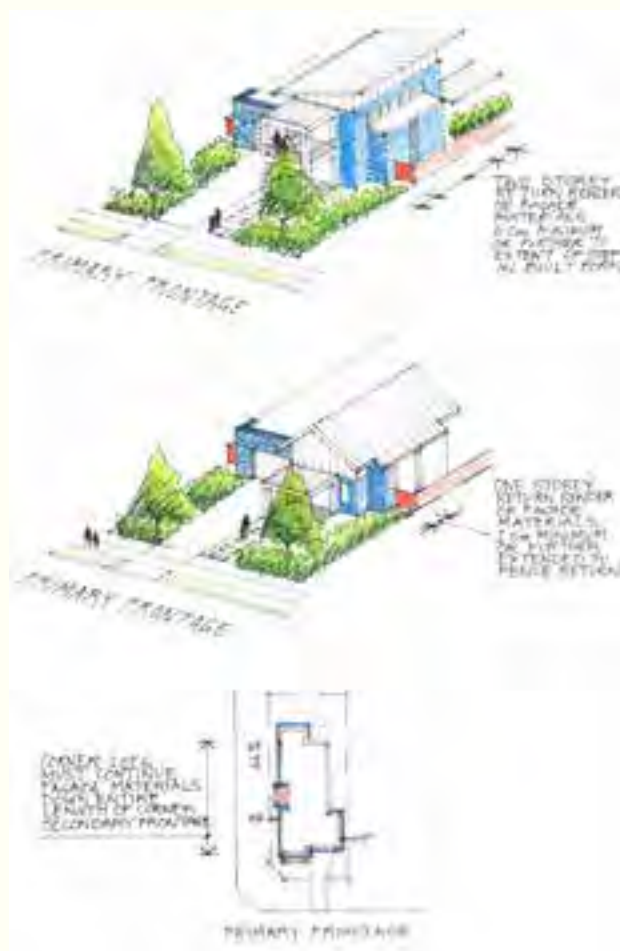
6. Design Elements

6.7 RETURN OF FAÇADE MATERIALS DOWN SIDE ELEVATIONS

The Kingscoast Masterplan means on certain lots, more of the side elevation is visible from the streetscape.

- Façade materials/render must return;
- 2.0m down the side elevation for one storey – past the fence return.
- 6.0m down the side elevation for two storey.
- Entire length of side elevation for secondary frontage on corner lots & lots adjacent pathways & adjacent reserves.

RETURN OF FAÇADE MATERIALS DOWN SIDE ELEVATIONS – FIGURE 6.7.1



6.8 DWELLING ENTRY LOCATION

Dwellings are to be designed to address the street, provide an easily identifiable entrance for pedestrians and contribute to the streetscape.

Mandatory front door locations are indicated on **Figure 3.5.1 – Neighbourhood Plan**. This ensures that the house addresses the primary street frontage with its front door.

6.9 MANDATORY NORTH COAST 1.5M DEEP BALCONY, EXTENDED ENTRY OR PORCH

A key aspect of the built form that will contribute and respond to the local and regional character of North Coast settlements, is the mandatory requirement of all Kingscoast lots to provide a primary road facing balcony, extended entry or entry porch of usable dimension.

See Figure 6.11.1 on opposite page.

COMPLIANCE TABLE 6.9

Kingscoast Design Guidelines

- Mandatory 1.5m minimum depth of balcony, extended entry or porch. Must extend forward of the front room.
- Part of this 1.5m depth may be accommodated in the 1.5m articulation zone (Tweed DCP, Part A 3.1 – Articulation Zone & SEPP Housing Code 3.14).
- Covered entrances are to be integrated into the overall design of the front façade in terms of their form, colour and materials. Their design should add to and enhance the articulation and built form of the dwelling.

6.10 MINIMUM DWELLING AREA

The minimum area of the house, excluding garage/carport and eaves is 150m².

6.11 BUILDING HEIGHT

Dwellings can be one or two storeys (except where mandatory two storey dwellings are on neighbourhood map).

- Houses must not exceed heights as per compliance table:

COMPLIANCE TABLE 6.11

Tweed Shire Council D.C.P 2008 – Part A	SEPP Housing Code 2008
<ul style="list-style-type: none"> - Building height for a dwelling house is 9m (except on slopes with a 12 (21.25%) gradient). <p>(TDCP – 3.2)</p>	<ul style="list-style-type: none"> - Maximum height for a dwelling house is 8.5m above existing ground level. <p>(HC – 3.8)</p>

Tweed Shire Council L.E.P 2014

- Proposed site (Category N2)
 - Height of Building is 13.6m
- Definition ref.
(Tweed LEP 2014 – 4.3)
(Tweed LEP 2014 – Map HOB-23)

Applicants to refer to the full DCP or Code for complete requirements

6. Design Elements

6.14 LANDSCAPING & PRIVATE OPEN SPACE

Each dwelling is to have a clearly defined private outdoor living space. This is required in Tweed Shire DCP 2008 – Part A & SEPP Housing Code.

COMPLIANCE TABLE 6.14	
Tweed Shire Council D.C.P 2008 – Part A	SEPP Housing Code 2008
Minimum Landscaped Area: Landscape Controls are based on lot area. A lot must include a total landscaped area comprising:	Minimum Landscaped Area: Landscape Controls are based on lot area, lot width, and proportion of landscape in front and back yards. A lot must include a total landscaped area comprising:
at least 450m ² – 600m ² • 30% of site • 2 deep soil zones measuring 3m in any direction	at least 450m ² – 600m ² • 20% of site at least 600m ² – 900m ² • 30% of site
at least 600m ² – 900m ² • 35% of site • 2 deep soil zones measuring 4m in any direction	at least 900m ² – 1500m ² • 40% of site lot width 18m or less • 25% of the area forward of building line
at least 900m ² – 1500m ² • 40% of site • 2 deep soil zones measuring 5m in any direction	lot width more than 18m • 50% of the area forward of building line • landscape area must be min 1.5m x 1.5m • 50% of minimum landscape area must be behind the building line
• no less than 80% native species (TDCP – 2.2)	Principal Private Open Space A lot must provide a principal private open space:
Applicants to refer to the full DCP or Code for complete requirements	

The following criteria should be also be considered;

- Take care not to reflect light and heat into your new home from large landscaping features or light coloured pathways next to the building;
- Sufficiently screen for privacy;
- Where adjacent to a secondary street frontage additional landscape screening to be added to the secondary street frontage fence to achieve sufficient screening.

Nominal private open space locations are shown on the **Neighbourhood Plan – Figure 3.5.1** in the Appendix and are encouraged.

6.15 ORIENTATION & SOLAR ACCESS

Kingscoast, is located on a coastal site with long views wetlands on the West. There is a great opportunity to custom design and orientate your home, to take advantage of great views, great breezes, and favourable morning sun. Passive solar design principles should be applied when selecting house design and are required in Tweed Shire DCP 2008 – Part A – Part 4.1 to 4.7

COMPLIANCE TABLE 6.15	
Tweed Shire Council D.C.P 2008 – Part A	SEPP Housing Code 2008
– 50% of private open space should be sunlit for a min. 2 hour between 9am & 3pm on 21st June – Windows to living area must have 3 hour of sunlight between 9am & 3pm on 21st June (TDCP – 4.3)	
Applicants to refer to the full DCP or Code for complete requirements	

The following criteria should be considered;

- Location of outlook and orientation.
- Provision of generous balconies, terraces and porches.
- The orientation of these covered outdoor areas and private open spaces.
- Location of windows to allow for effective cross ventilation.
- Overhangs and awnings to allow winter sun into rooms and shade from summer sun.
- Location of rooms to minimise hot western afternoon sun.



6. Design Elements

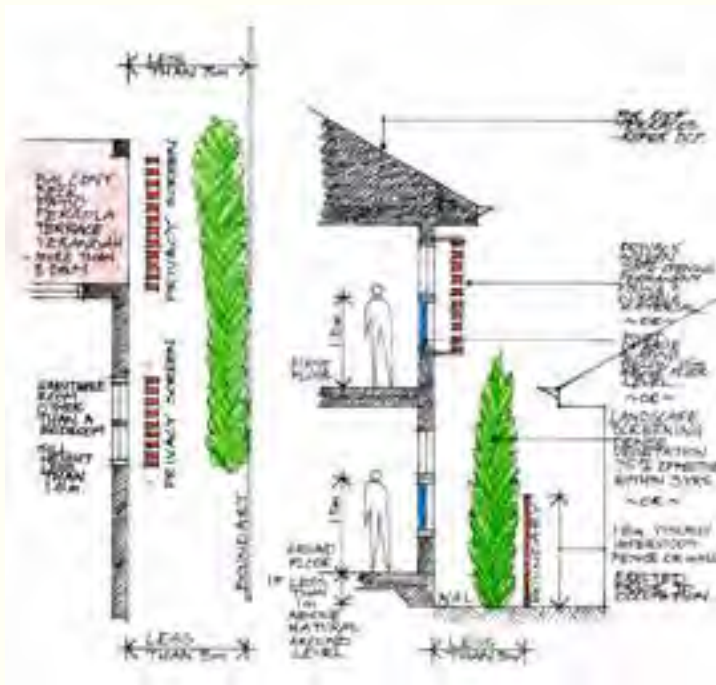
6.16 VIEWS, OVERLOOKING, PRIVACY & SIDE AND REAR BALCONIES

The design of your home will need to balance outlook to views, and preserving neighbours privacy.

Privacy requirements for dwellings are set out in Tweed Shire DCP 2008 - Part A - Part 4.5 - Visual & Acoustic Privacy & SEPP Housing Code.

PRIVACY SCREENING – FIGURE 6.16.1

The SEPP Housing Code restricts the size and height of balconies/decks to the side and rear of dwelling houses.



Extract Tweed Shire Council DCP - Part A - Section 4.5

COMPLIANCE TABLE 6.16.1	
Tweed Shire Council D.C.P 2008 – Part A	SEPP Housing Code 2008
<p>Side & Rear windows:</p> <ul style="list-style-type: none"> - Offset by distances sufficient to avoid visual connection between windows of subject dwelling & neighbouring dwelling. <p>Decks, Verandahs, Terraces, Balconies and other living areas:</p> <ul style="list-style-type: none"> - Terraces, balconies, living room and kitchen windows are to avoid a direct view into neighbouring dwellings or neighbouring private open space - Within 4m from side or rear boundary may require a privacy screen - Exceptions apply if it can be demonstrated that there will be negligible overlooking/ privacy impacts. <p>(TDCP – 4.5)</p>	<p>Side & Rear windows:</p> <p>Privacy Controls effects</p> <ul style="list-style-type: none"> • habitable rooms • the part of window less than 1.5m above the floor, • Does not apply to bedroom windows with area < 2m² <p>Privacy Controls are based on</p> <ul style="list-style-type: none"> • distance to boundary, height of floor above existing ground level. <p>A privacy screen must be provided if</p> <ul style="list-style-type: none"> - window is less than 3m to boundary and room has FFL >1m above EGL - window is at least 3m – 6m to boundary and room has FFL >3m above EGL. <p>Decks, Verandahs, Terraces, Balconies and other external living spaces to Side and Rear:</p> <p>Privacy Screens must be</p> <ul style="list-style-type: none"> • 1.7m – 2.2m high • installed at edge of balcony facing boundaries. <p>A privacy screen must be provided if.</p> <ul style="list-style-type: none"> • Area of balcony at least 3m²; and - edge is less than 3m from boundary and FFL >1m above EGL - edge is at least 3m – 6m to boundary and FFL >2m above EGL. <p>(HC – 3.15)</p>
<p>Applicants to refer to the full DCP or Code for complete requirements</p>	

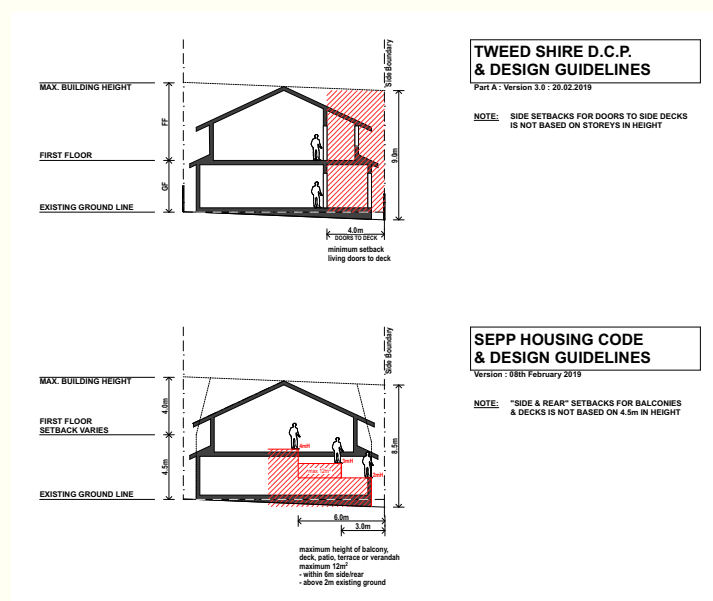
6.16.2 MAXIMUM SIZE/HEIGHT OF BALCONIES/DECKS

The SEPP Housing Code restricts the size and height of balconies/decks to the side and rear of dwelling houses.

COMPLIANCE TABLE 6.16.2

Tweed Shire Council D.C.P 2008 – Part A	SEPP Housing Code 2008
<ul style="list-style-type: none"> • DCP does not limit size of deck unless rooftop deck • Generous rear decks are encouraged • Max height of deck is controlled by Tweed LEP. <p>Minimum setback to living room doors to deck from boundary</p> <ul style="list-style-type: none"> • 4.0m. <p>(TDCP 4.2 & 4.7)</p>	<p>Maximum FFL Height and Total Floor Area are controlled based on setbacks to boundary.</p> <ul style="list-style-type: none"> – less than 3m from boundary max. FFL >2m above EGL. – 3m – 6m from boundary max. FFL >3m above EGL total floor area < 12m². – more than 6m from boundary max FFL >4m above EGL. <p>(HC - 3.12)</p>
Applicants to refer to the full DCP or Code for complete requirements	

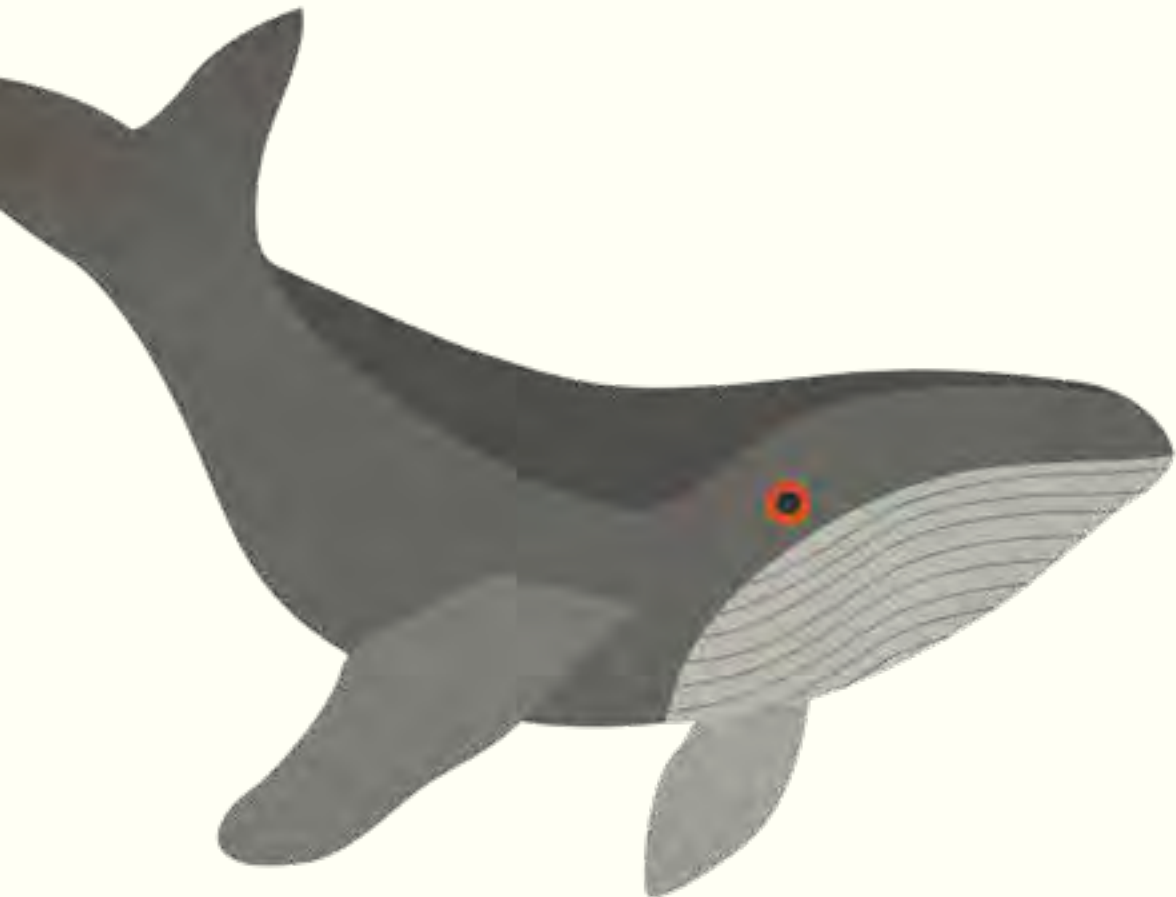
MAXIMUM SIZE/HEIGHT OF BALCONIES/DECKS – FIGURE 6.16.3



6. Design Elements

6.16.4 PRIVACY SCREEN DEFINITION/DETAILS

COMPLIANCE TABLE 6.16.4	
Tweed Shire Council D.C.P 2008 – Part A	SEPP Housing Code 2017
Visual Privacy is determined by: <ul style="list-style-type: none">• the nature of adjacent developments• site configuration• topography• scale of development• layout of individual dwellings.	Privacy screen means: A structure, that has: <ul style="list-style-type: none">• no individual openings more than 30mm wide, and• total area of all openings no more than 30%, of the surface area of the screen. A window, that has: <ul style="list-style-type: none">• translucent glass• fixed• not able to be opened. (HC – 3.12)
Applicants to refer to the full DCP or Code for complete requirements	



6.17 ACOUSTIC TREATMENTS

- There is currently no known Lots that require acoustic management.

6.18 ENERGY EFFICIENCY

Owners are to incorporate energy saving design features in their house designs. D.A.P. will assess solar panel location as they effect the streetscape.

The energy design features in your BASIX certificate, become obligations that you commit to completing. These obligations will not be assessed by D.A.P.

6.18.1 MAXIMISE ASPECT TO NORTH EAST

Owners are encouraged to take advantage of favourable solar aspect and breezes to the East with larger glazed areas of windows and doors.

- This may require additional consideration of orientation, overhang, shading, & glass type to reduce unwanted heat gain and achieve BASIX certification.

6.18.2 SHADING DEVICES

Shading devices such as eaves, hoods, verandahs, pergolas, balconies, awnings, exterior louvres & blinds are encouraged.

- Shading elements must complement the overall building design.

6.18.3 LIMIT AIR CONDITIONING (CONDITIONED FLOOR AREA)

Designs which encourage cross ventilation and limit need for conditioned floor space are encouraged.

- Outdoor covered terraces must be designed with higher soffits to allow ceiling fans.

6.18.4 HOT & COLD WATER EFFICIENCY

Designs which include sustainable hot & cold-water devices are encouraged.

- Equipment must complement the overall building design, particularly roof form avoiding need for unsightly roof brackets and supporting frames.

6.19 GARAGES AND CARPORTS

The street frontage isn't to be dominated by garages and carports.

- Tweed Shire Council DCP requires carports to have at least 2 open sides and cannot be fitted with door, fence or gate.
- Garages to be setback in accordance with Section 7.

COMPLIANCE TABLE 6.19

KINGSCOAST DESIGN GUIDELINES

- Garages and carports to be integral to the design of the house and setback from the front façade minimum 1.0m from the front façade of the house to improve the street appeal of the dwelling.
- Two off-street parking spaces to be provided, with a minimum of one enclosed garage.
- Door colours are to be in the accepted palette of Colorbond colours illustrated in Section 6.6.3.
- Zero Lot Line garages may be acceptable on some lots – refer Neighbourhood Plan, DCP and Code.
- Garage doors must be a panel door.
- Roller doors are not acceptable.
- Provide 2 Car Parking Spaces: min. one enclosed garage.

Tweed Shire Council D.C.P 2008 – Part A

- Provide 2 spaces per dwelling.
 - Min. one enclosed garage.
 - The maximum width of the garage door must not be more than 50% of the street frontage, or 6m whichever is the lesser.
- (TDCP – 4.8)

SEPP Housing Code 2008

- At least 1 off street car parking space required.
 - Lot width = 8-12m
 - Garage door width = 3.2m.
 - Lot width > 12m
 - Garage door width = 6m.
- (HC – 3.16)

Applicants to refer to the full DCP or Code for complete requirements

6. Design Elements

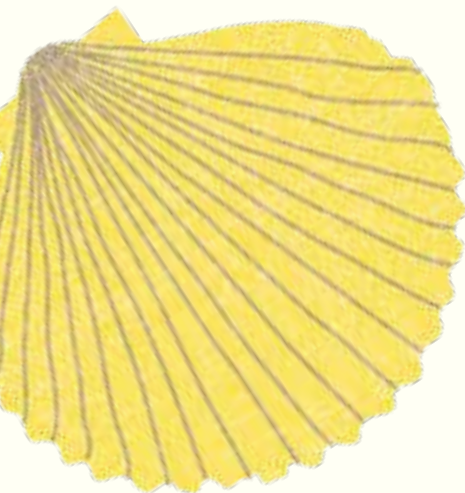
6.20 DESIGN FOR CARAVANS, BOATS, TRAILERS & PLAY EQUIPMENT

Kingscoast promotes an active lifestyle, and is located near recreational amenity. The design of your home needs to consider the storage of equipment likely to be accumulated over the life of the home.

- Recreational vehicles and equipment must be stored within garages or carports or screened from view behind gates or adequate landscaping.
- The best way to achieve this is to allow a second garage door and drive-through access from your garage to your service courtyard area.

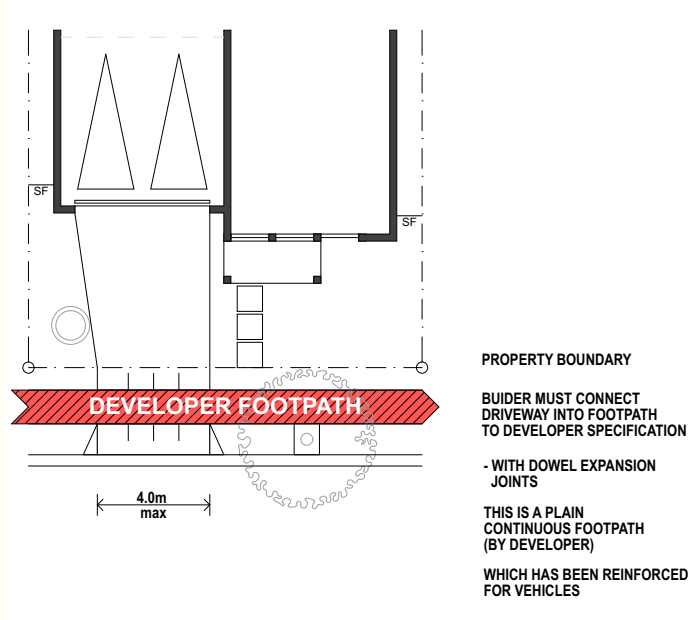
6.21 DRIVEWAYS AND CROSSOVERS

- Only one driveway is permitted per lot, unless shown on neighbourhood plan.
- Refer to Neighbourhood Plan Figure 3.5.1 for acceptable driveway crossover locations.
- The plain concrete footpath (by developer) is to be continuous through the driveway. Set out and additional engineering details are included in Figure 6.21.1.
- Driveway finish is to be included in the materials palette and is to complement the overall colour scheme and materials palette.
- Permitted materials include clay or brick pavers, stencilled and applied finishes, exposed aggregate concrete and coloured concrete.
- Plain concrete, stamped patterned concrete are not permitted.
- Crushed or decomposed stone and car track driveways are not permitted.
- Driveways must be completed prior to occupation of the home.



COMPLIANCE TABLE 6.21
KINGSCOAST DESIGN GUIDELINES
<ul style="list-style-type: none">• Design Guidelines limit driveway width to maximum 4.0m at title boundary Figure 6.23.1.• Driveway widths must match crossover width at the title boundary, with a 1.0m minimum landscape strip between driveway and the side boundary Figure 6.23.2.
Applicants to refer to the full DCP or Code for complete requirements

CONCRETE FOOTPATH (BY DEVELOPER) – FIGURE 6.23.1



LANDSCAPE STRIP BETWEEN DRIVEWAY AND SIDE BOUNDARY – FIGURE 6.21.2



- No offset from side boundary
- Too wide at front boundary



- Min. 1m offset from side boundary
- Tapering from garage to front boundary





6. Design Elements

6.22 RAINWATER DEVICES – RAINWATER TANKS

- Rainwater tanks are encouraged but are not to be visible from street frontages.
- Potential for future installation, should be allowed for in the initial building design.

6.23 ESTATE RETAINING WALLS, STAIRS, FENCES & GATES

In order to provide an attractive streetscape, and coordinate the development, there are Estate retaining walls, stairs, fences and gates.

- These structures are not to be removed.
- Landscape is required along pool fencing type estate fencing.
- If fencing/gates are required by BCA/NCC, the fence must be well maintained and in good working order.
- And non-climbable zones maintained by owner.

6.24 NBN CONNECTION

Your lot is provided with a NBN Connection, which you are required to connect to.

6.25 MANDATORY TWO STOREY LOTS

To allow casual surveillance of public paths, and to allow greater setbacks to public reserves;

COMPLIANCE TABLE 6.25

KINGSCOAST DESIGN GUIDELINES

- Lots along Pathway must have a mandatory two storey height requirement, with a one & half storey front porch with a raised porch roof, to provide surveillance of the pathway.

6.26 LOTS FACING PUBLIC PATH RESERVE (CPTED)

Dwellings addressing public path reserves must provide opportunities for casual surveillance over the public path reserve. The construction of a Juliet balcony projecting towards the public path reserve setback is encouraged and the inclusion of a first floor window overlooking the public path reserve is required.

6.27 DUAL OCCUPANCY

ADDITIONAL EXPECTATIONS (TDCP & SEPP COMPLIANCE NOT ASSESSED BY D.A.P.)

Dual Occupancy applications will be assessed against the Design Guidelines, with particular or additional expectations regarding, the following design elements. This includes lots 4, 29, 35 & 110.

DAP will not assess the compliance of applications against, the Tweed DCP or SEPP Housing Code.

6.27.1 LOCATION OF SECOND DWELLINGS ENTRY DOOR

- Unless shown on Neighbourhood Plan.
- Two entries visible from the primary frontage is not acceptable.
- Side entry, or second entry from secondary frontage is acceptable.
- Dual Occupancy dwellings are most suited to corner lots.

6.27.2 CAR PARKING

- To limit the effect of additional residents and their visitors, Dual Occupancy applications will need to demonstrate that additional visitor parking, has been provided on site.

6.27.3 DRIVEWAY LOCATION

- If Dual Occupancy designs require driveway locations that vary from the Neighbourhood Plan, the owner will need to demonstrate that the services, street trees and footpaths are not affected by this variation.
- Tweed Shire Council has requirements for minimum driveway offsets to intersections.
- Owners are responsible for their own approvals, which need to be submitted to D.A.P. as part of the D.A.P. approval process.

6.27.4. ADDITIONAL LANDSCAPE

- Applicants will need to demonstrate that additional landscaping has been provided to screen, additional garaging and visitor parking.
- 1 Additional Canopy Tree.

6.28 LOTS ON VISTA LINES

The D.A.P. will have higher expectations for dwellings, on lots identified as being directly in line with a vista from an adjoining street or boulevard.

Additional elements, to articulate the frontage may include: balconies, articulation of roofs, and feature materials.

6.29 CEILING HEIGHT

Tweed Shire Council encourages ceiling height of 2.7m for habitable rooms.



6. Design Elements

EP. 5 BUILDING MATERIALS AND CONSTRUCTION

There are thermal properties in the building materials you choose, so deciding on the right material is important as certain materials can absorb and hold more heat in your home. To reduce the heat that your home could absorb, choose materials that keep out heat during the day by insulating and choosing light colours for roofs and external walls.

Also, try to choose lightweight materials for the walls, like timber and fibrocement sheeting, as these choice release unwanted heat quickly.

When setting out your home, try to shade the areas of thermal mass such as driveways and roads as they will also radiate heat.

Minimising the levels of emissions in buildings using low emissions paints, sealants, adhesives and coverings may have health benefits. Current best practice is to increase the use of low emission finishing products.

You may use:

- Use low emission paints on >95% of internal and external painted surfaces.
- Use low emission sealants on >95% of internal and external surfaces.
- Use low emission adhesives on >95% of internal and external surfaces.
- Use low emission floor coverings on >95% indoor covered floors.
- All engineered wood products (including exposed and concealed applications) are E0 rated.

During the construction phase, encouraged waste management practices include;

- Use skip bins rather than cages.
- Maintenance of waste records.
- The use of recycling centres.
- Minimise packaging.

Post construction phase

During the post construction phase, there are recycling opportunities to reduce waste going to landfill. The use of compost bins is promoted and the position must be nominated on the landscape plans.

Greenhouse emissions

- To reduce greenhouse gas emissions through design, the following design controls are encouraged:
- Roof colour should be ≤ 0.7 SAV (solar absorbance value).
- Breeze and circulation around dwellings should be encouraged.
- East/West wall insulation is encouraged and should be at least R2.0.
- 450 eaves/hoods to shade windows should be incorporated.
- Eaves no more than 500mm above windows or glazed doorheads.

EP. 6 YOUR ROOF

The roof of your home is the largest surface area exposed to the sun throughout the entire day. Choosing a light colour that will reflect the heat will reduce the amount of heat entering your home by up to 30%.

Installing the right insulation under the roof sheeting can significantly reduce heat entering your home from a hot roof. Steel roof sheeting, such as corrugated iron, tends to lose heat when the sun is not shining directly on it.

If you are considering tiling your roof, choosing the right roof tiles is also a key factor in heat reduction as they slowly absorb heat during the day and re-radiate it into the home at night. Make sure you use reflective foil under the tiles to reduce heat slowly releasing into your home overnight.

Ventilating your roof space is also an excellent idea to prevent further heat in the living space and locally made, low profile ventilation options are available including, eave vents, ridge vents and mechanical ventilation. Many people are also turning to solar powered roof ventilation systems, which powers a fan to suck the hot air out of the roof space.

EP. 7 CHOOSE LIGHT / MEDIUM COLOURS

Light colours reflect the sun, while dark colours absorb its heat. Carefully place your hand on a dark coloured car in summer at midday and then do the same on a white car and you will feel the difference. The same goes for choosing the roof and wall colours of your house. You may think dark colours look better but they will cause higher temperatures inside your home. To achieve a balance between thermal benefits of light colours and the aesthetic needs of a hillside, ridgeline location, the D.A.P require colours of roofs and walls to be from the 'light warm natural palette' NOT the 'bright white or bright colour palette'.

EP. 8 YOUR OUTDOOR LIVING AREA

One of the great advantages of the Kingscoast climate is that you can spend a lot of time outdoors.

When locating your outdoor areas, consider:

- The North aspect for best solar access.
- Avoiding the hot low angled sun in the afternoons.
- Orientating outdoor areas to take advantage of the outdoor cooling N/E – S/E Summer breezes.



EP. 9 ENERGY EFFICIENCY

Reducing the amount of energy required to run your home will reduce your electricity bills. When designing your home, the following energy saving features should be considered:

- Solar panels.
- Solar hot water.
- Heat pumps.
- Instantaneous gas hot water.
- Reduce the reliance on air conditioning.
- Include water saving features.
- Well ventilated fridge spaces.
- Efficient appliances.
- Efficient cooktop & oven.

The energy that your PV panels produce is sent back to the electricity grid. At the end of each quarter, your electricity bill will show how much energy your panels have generated and then subtract what you have used.

Lighting

New houses, must have energy efficient globes installed to BASIX requirements.

Air conditioning

Air conditioning is expensive to run and has a large carbon footprint. It is a good idea to design your home so the use of fans and open windows can cool it down naturally wherever possible. This will also go a long way to reducing your reliance on air conditioning.

Water sense

Making clean drinking water is energy intensive and the water is expensive. You can reduce your water consumption by installing a water tank to catch rainwater.

The water you get from these can be used to water your garden.

You can also reduce your water consumption (and save on your energy bills at the same time!) by installing water efficient washing machines and dishwashers.

- It is recommended that fixtures installed use <6L/min + dishwashers achieve <14/L per use.

Refer to Australian Government 'Water Efficient Labelling and Standards (WELS)' scheme.

www.waterrating.gov.au

7. Setbacks



7.1 OVERVIEW

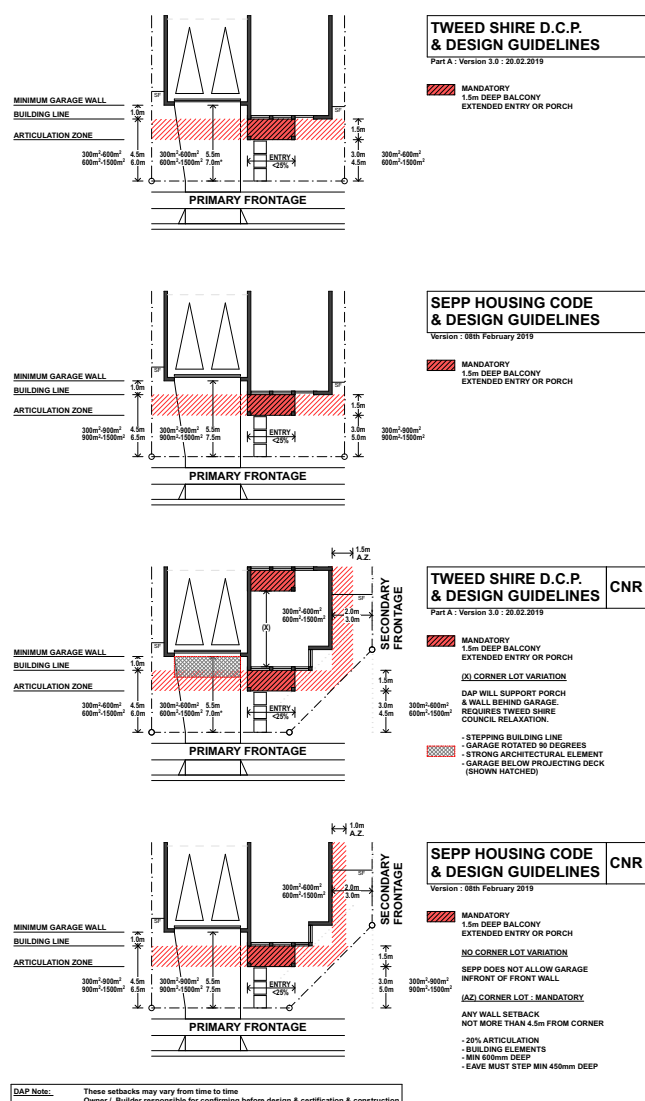
Setbacks for dwellings, garages & associated out buildings are required to comply with either:

- Kingscoast Design Guidelines & Tweed Shire Council DCP 2012 or
- Kingscoast Design Guidelines & SEPP Housing Code 2017.

Setbacks are measured to the face of the wall. Eaves and balconies are permitted to project into the setbacks subject to NCC/BCA requirements and as described below.

At Kingscoast there are additional requirements for Entry Porches and Wall Articulation to Corner Lots as set out in these Design Guidelines.

BUILDING LINE AND ARTICULATION ZONE – FIGURE 7.1



7.2 PRIMARY ROAD FRONTAGE SETBACKS

Dwellings, garages and ancillary development must be set back as per Compliance Table 7.2 / 7.3.

7.3 SECONDARY ROAD FRONTAGE SETBACKS

Dwellings, garages and ancillary development must be set back as per Compliance Table 7.2 / 7.3; The D.A.P. will have higher expectations of corner lots, and lots on key vistas, and there are additional requirements, set out in **Section 6.6.1 – Front & Side Wall Articulation.**

COMPLIANCE TABLE 7.2 & 7.3

Kingscoast Design Guidelines

- The D.A.P. has made the provision for a 'Mandatory North Coast 1.5m Deep Balcony, Extended Entry or Porch'.
- The D.A.P. has made the provision for a further 1.0m setback to 'Garages & Carports' behind the main building line wall.

Tweed Shire Council D.C.P 2008 – Part A

Primary Road Setback:

- at least 300m² < 600m²
- 4.5m
- at least 600m² < 1500m²
- 6.0m

Secondary Road Setback:

- at least 300m² < 600m²
- 2.0m
- at least 600m² < 1500m²
- 3.0m

Garage Setback:

- 1.0m from front façade
 - unless options to minimise the dominance of garages.
 - minimum 5.5m.
- (TDCP – 3.1)

SEPP Housing Code 2008

Primary Road Setback

- at least 300m² – 900m²
- 4.5m
- at least 900m² – 1500m²
- 6.5m

Secondary Road Setback:

- at least 200m² – 600m²
- 2.0m
- at least 600m² – 1500m²
- 3.0m

Garage Setbacks:

- 1m or more behind the building line of the dwelling house.
- (HC – 3.10)

Applicants to refer to the full DCP or Code for complete requirements

The SEPP Housing Code allows reduced setbacks to both primary & secondary road setbacks.

7. Setbacks

7.4 ARTICULATION ZONES

To promote building façades which contribute to the character of the streetscape, both Tweed Shire Council and the SEPP Housing Code allow a relaxation into the Building Line Setback which they call an Articulation Zone.

The SEPP Housing Code mandates an Articulation Zone to the Secondary Road Frontage as well as the Primary Road Frontage.

COMPLIANCE TABLE 7.4	
KINGSCOAST DESIGN GUIDELINES	
Kingscoast Design Guidelines require a Mandatory North Coast 1.5m deep balcony, extended entry or porch.	
Tweed Shire Council D.C.P 2008 – Part A	SEPP Housing Code 2008
<p>Primary & Secondary Road Frontage</p> <p>An articulation zone permits some elements of buildings front façade to intrude within the front setback</p> <ul style="list-style-type: none"> • to maximum 1.5m • not exceeding 25% of frontage width. <p>The following building elements permitted:</p> <ul style="list-style-type: none"> • entry feature or portico • balcony, deck, patio, pergola, terrace or verandah • upper level overhang or cantilever • window box treatment • bay window or similar feature • awning or other feature over a window • sun shading feature. <p>(TDCP – 3.1)</p>	<p>Primary Road Frontage</p> <p>A dwelling may have articulation zone forward of the minimum required setback</p> <ul style="list-style-type: none"> • up to 1.5m • not exceeding 25% of area of the AZ. <p>The following building elements permitted:</p> <ul style="list-style-type: none"> • entry feature or portico • balcony, deck, pergola, terrace, or verandah • window box treatment • bay window or similar feature • awning or other feature or a window • sun shading feature • eave. <p>Secondary Road Frontage</p> <p>Articulation Zone on Secondary Road</p> <ul style="list-style-type: none"> • up to 1.0m • not exceeding 20% of area of the AZ. <p>A dwelling must have at least 1 of the following building elements.</p> <ul style="list-style-type: none"> • minimum length 20% of elevation (walls facing secondary road within 4.5m) • entry feature or portico • balcony, deck, pergola, terrace or verandah • bay window • step of at least 600mm in depth. <p>(SEPP – 3.14)</p>
Applicants to refer to the full DCP or Code for complete requirements	



7. Setbacks

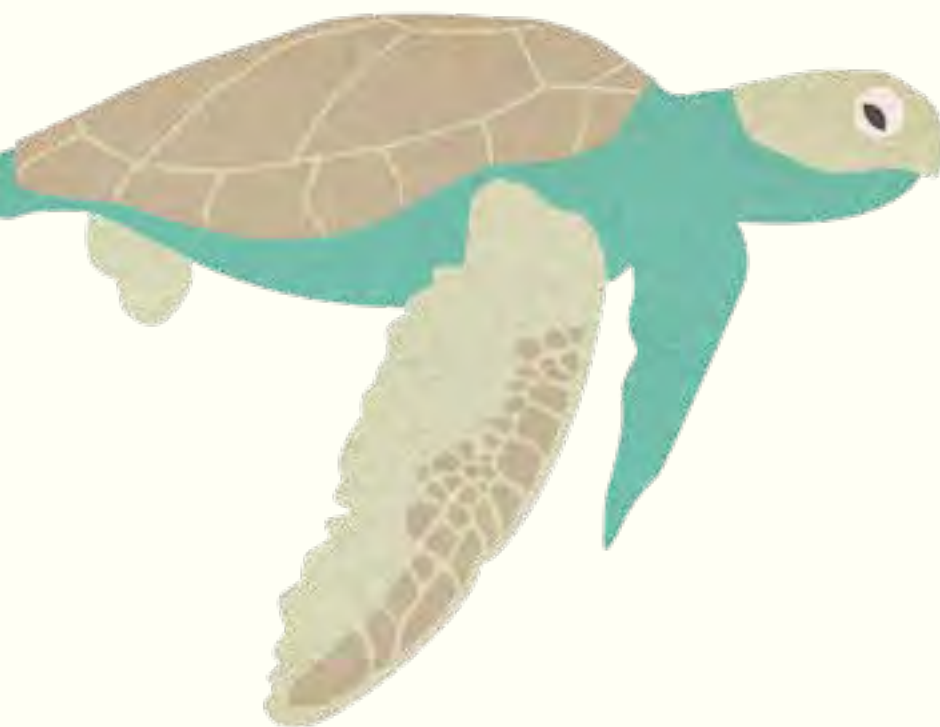
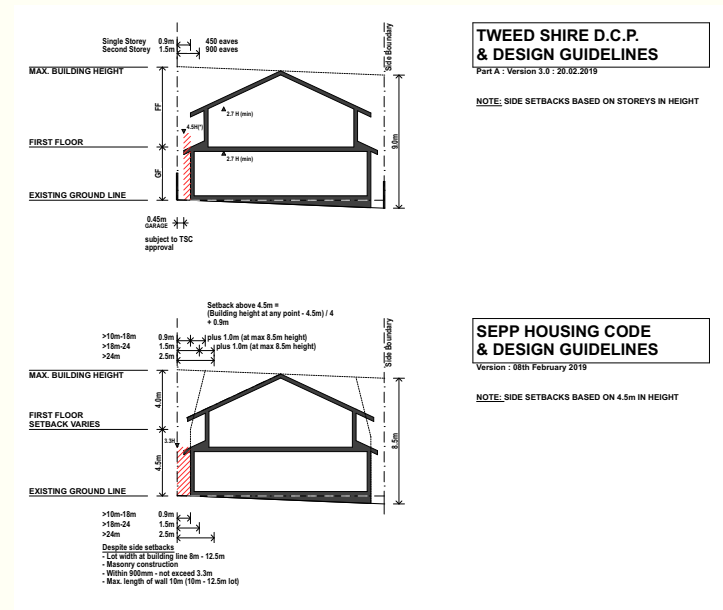
7.5 SIDE AND REAR SETBACKS

These setbacks form a building envelope that ensures buildings are set back progressively as building height increases:

- So that buildings do not unduly affect adjoining properties by way of overshadowing, impinging on privacy, or unreasonably obstructing views.
- Achieve a varied and interesting streetscape, by allowing generous landscape between dwellings.
- Achieve a varied and interesting built form, by stepping wall and roof lines.
- Side and rear decks must comply with additional TDCP & SEPP requirements (refer section 6.18.3).
- Side and rear setbacks must comply with the Setbacks to Civil Infrastructure/Easements (refer section 7.6).

The SEPP Housing Code allows greatly reduced setbacks to upper levels and allows zero lot setbacks subject to code, but increases rear setbacks.

SIDE SETBACKS – FIGURE 7.5.1



COMPLIANCE TABLE 7.5.1**KINGSCOAST DESIGN GUIDELINES**

- The 'Design Guidelines' do not add to either, the side & rear setbacks in the Tweed D.C.P or the SEPP Housing Code.
- Unless required by an easement.

Tweed Shire Council D.C.P 2008 – Part A

Side Setbacks based on storeys in height.

Side Setbacks:

- DCP allows side setbacks:
 - Single Storey
 - 0.9m
 - Two Storey
 - 1.5m

Guttering, Eaves, Hoods, Similar:

- DCP allows side setbacks:
 - Single Storey
 - 0.45m
 - Two Storey
 - 0.9m

Garages:

- DCP allows side setbacks:
 - 0.45m

Height <3.5m H (Flat Roof)

Height <4.8m H (Pitched or Skillion)

(TDCP – 3.1)

SEPP Housing Code 2008

Side Setbacks based on:

- Lot width.
- Ground Floor to 4.5m Building Height,
- then varies at angle above 4.5m to 8.5m.

Side Setbacks:

SEPP allows side setbacks:

Lot width

>10m – 18m

- 0.9m (to 4.5m)
- 1.9m (to 8.5m)

Lot width

>18m – 24m

- 1.5m (to 4.5m)
- 2.5m (to 8.5m)

Lot width

>24m – above

- 2.5m (to 4.5m)
- 2.5m (to 8.5m)

Guttering, Eaves, Similar:

- DCP allows side setbacks:
 - Single Storey
 - 0.45m
 - Two Storey
 - 0.14m

Garages:

- DCP allows side setbacks:

Lot width

8m – 12m at building line

- within 0.9m
- built to boundary

Length <10m L

Height <3.3m H

(TDCP – 3.1)

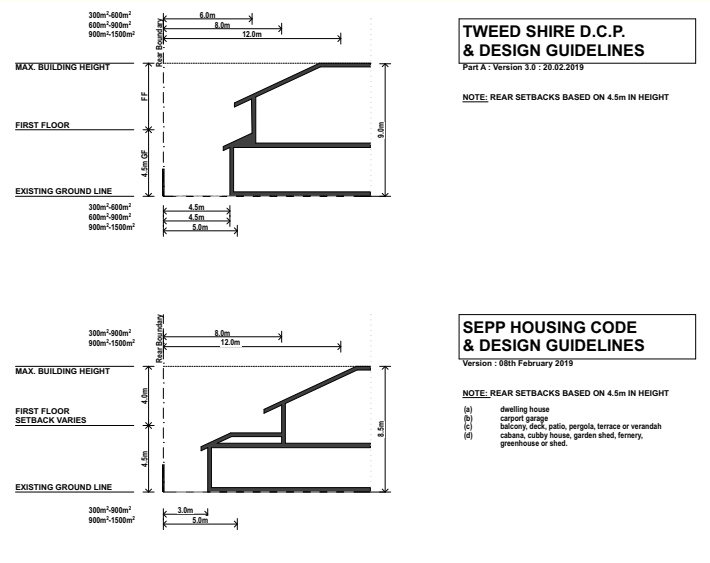
Applicants to refer to the full DCP or Code for complete requirements



7. Setbacks

COMPLIANCE TABLE 7.5.2	
Tweed Shire Council D.C.P 2008 – Part A	SEPP Housing Code 2008
<p>Rear Setbacks based on:</p> <ul style="list-style-type: none">• Lot area• up to 4.5m Building Height,• above 4.5m to 9.0m. <p>Rear Setbacks:</p> <p>DCP allows rear setbacks:</p> <p>Lot area at least 300m² < 600m²</p> <ul style="list-style-type: none">• 4.5m (to 4.5m)• 6.0m (to 8.5m) <p>Lot area at least 600m² < 900m²</p> <ul style="list-style-type: none">• 4.5m (to 4.5m)• 8.0m (to 8.5m) <p>Lot area at least 900m² < 1500m²</p> <ul style="list-style-type: none">• 5.0m (to 4.5m)• 12.0m (to 8.5m) <p>(TDCP – 3.1)</p>	<p>Rear Setbacks based on:</p> <ul style="list-style-type: none">• Lot area• up to 4.5m Building Height,• above 4.5m to 9.0m. <p>Rear Setbacks:</p> <p>DCP allows rear setbacks:</p> <p>Lot area at least 300m² < 900m²</p> <ul style="list-style-type: none">• 3.0m (to 4.5m)• 8.0m (to 8.5m) <p>Lot area at least 900m² < 1500m²</p> <ul style="list-style-type: none">• 5.0m (to 4.5m)• 12.0m (to 8.5m) <p>Refer to HC - 3.11 for exceptions to setbacks. (TDCP – 3.1)</p>
Applicants to refer to the full DCP or Code for complete requirements	

REAR SETBACKS – FIGURE 7.5.2



7. Setbacks

7.6 SETBACKS TO CIVIL INFRASTRUCTURE

The following nominal setbacks are specific to Kingscoast, and are provided as a guide only, and the requirements specific to your site must be confirmed by your suitably qualified engineer.

Easements

- Certain lots have easements of various width. Buyers to confirm easements. Prior to designing their home.
- No structure can be built within an easement.
- The Tweed Shire Council DCP allows a 450mm max. eave overhang within the easement.
- The SEPP Housing Code does not allow a 450mm max. eave overhang within the easement.

Builders Retaining Walls (Hard Landscape)

- Street Front – Base of first terrace from Front boundary 1.5m.
- Side & Rear – 600mm top and bottom.
- Refer 6.1 Site Works

Sewer and Storm-water and Water Supply Lines

- Plans of certain lots indicate services easements of varying width.
- Buyers to confirm all easements prior to designing their home.

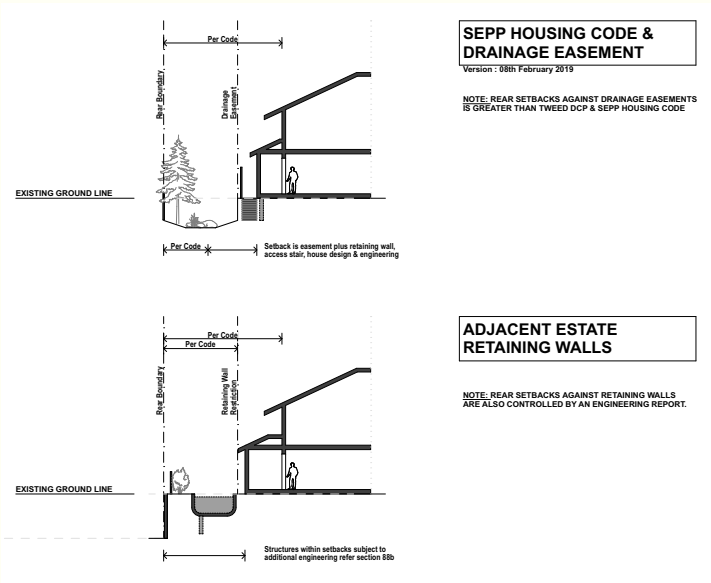
Pools

- Side & Rear boundary (subject to engineers' design).

Developer Retaining Wall Setbacks / Easements

- The plans of certain lots indicate retaining walls and required easements, setbacks and restrictions. (refer to section 88B and Site Plans)
- Structures can only be built within the retaining wall setback with engineering design confirming that there is no additional load imposed on any part of the retaining wall structure.
- Structures cannot be built within the 1m retaining wall easement.

SETBACKS TO CIVIL INFRASTRUCTURE – FIGURE 7.6



7.7 SETBACKS TO PUBLIC RESERVE

The following setbacks may also be relevant to your lot and design. Requirements specific to your site must be confirmed by your suitably qualified building certifier.

COMPLIANCE TABLE 7.7	
Tweed Shire Council D.C.P 2008 - Part A	SEPP Housing Code 2008
<ul style="list-style-type: none">• No known additional requirements. <p>(TDCP – ?)</p>	<p>Public Reserve Setbacks are fixed</p> <p>Public Reserve Setbacks</p> <p>SEPP allows public reserve setbacks</p> <ul style="list-style-type: none">• 3.0m <p>to the following elements:</p> <ul style="list-style-type: none">• Cabana, Cubby House, Garden Shed, Gazebo, fernery, Greenhouse or Shed, <p>(HC- 3.10)</p>
Applicants to refer to the full DCP or Code for complete requirements	



8. Fencing and Letterboxes



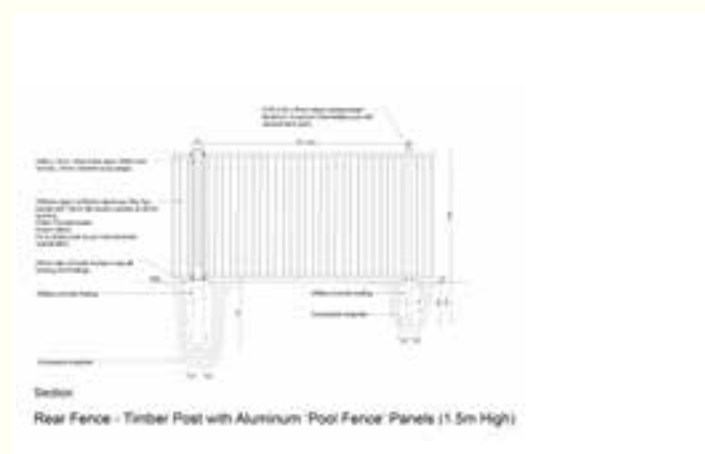
8. Fencing and Letterboxes

8.1 PRIMARY ROAD FENCING

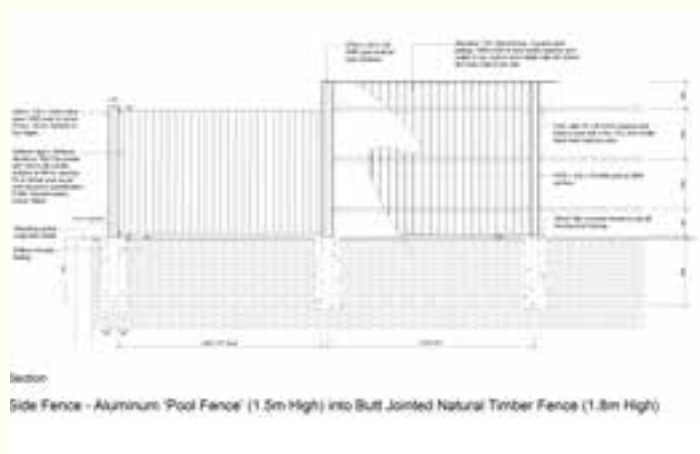
High solid walls reduce the street appeal of the development and limit casual surveillance of the street, making the neighbourhood a less safe place.

- Primary street front fencing is not permitted except in association with a pool and as set out below.
- » Black flat top aluminium pool fence or glass pool fence.
- » Pool fence to be completely screened with planting.
- Pool fence to be set back a minimum of 1m to allow for planting area.
- » Maximum 1.2m high to all relevant standards.

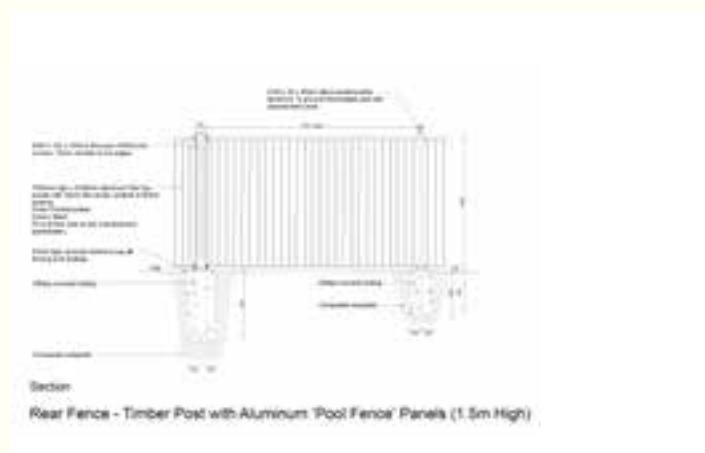
ESTATE FENCE TYPE 1 : REAR - FIGURE 8.2.1.A



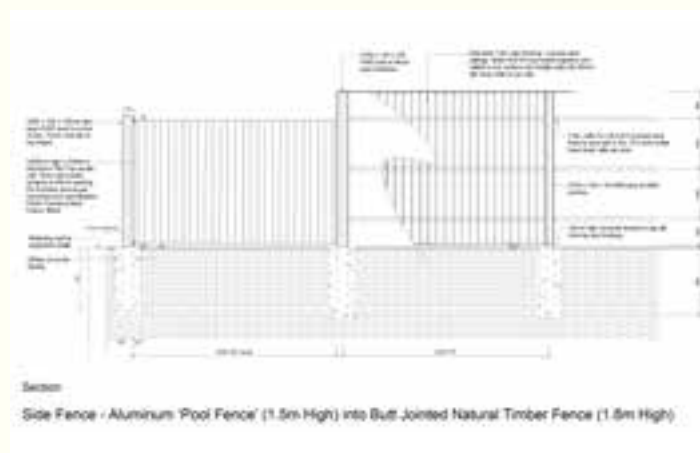
ESTATE FENCE TYPE 1B : SIDE - FIGURE 8.2.1.B



ESTATE FENCE TYPE 2A : REAR - FIGURE 8.2.2.A

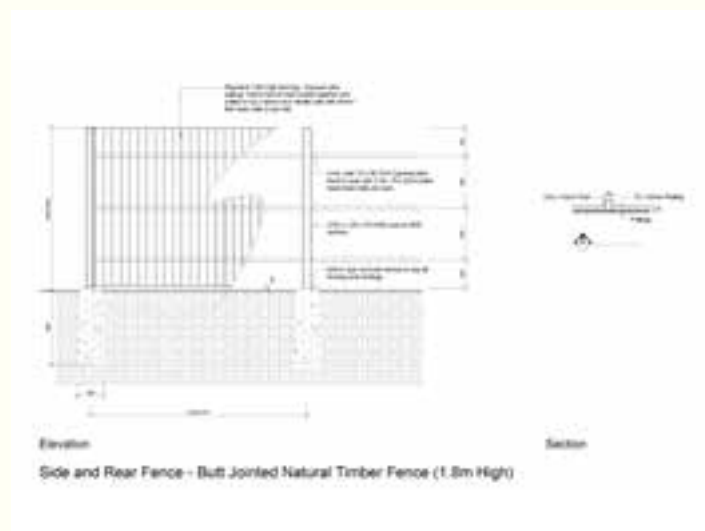


ESTATE FENCE TYPE 2B : SIDE - FIGURE 8.2.2.B

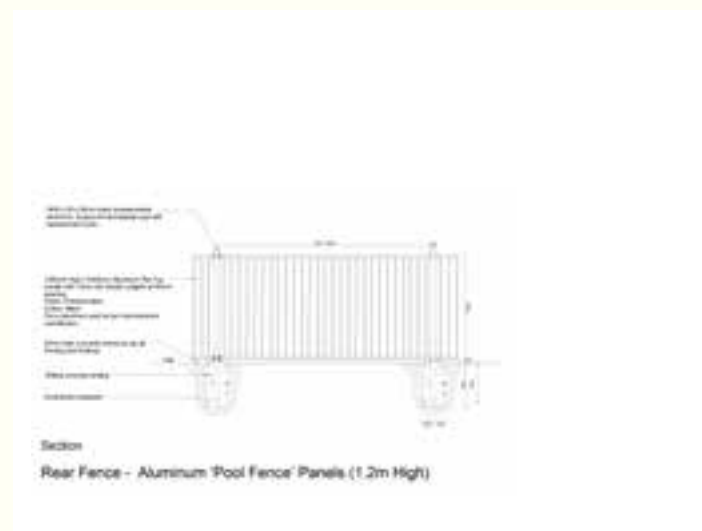


8. Fencing and Letterboxes

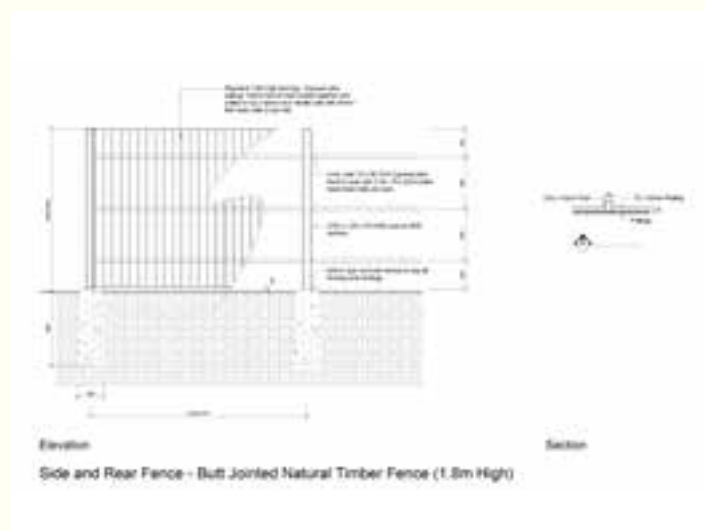
ESTATE FENCE TYPE 3A : DRAINAGE REAR
- FIGURE 8.2.3.A



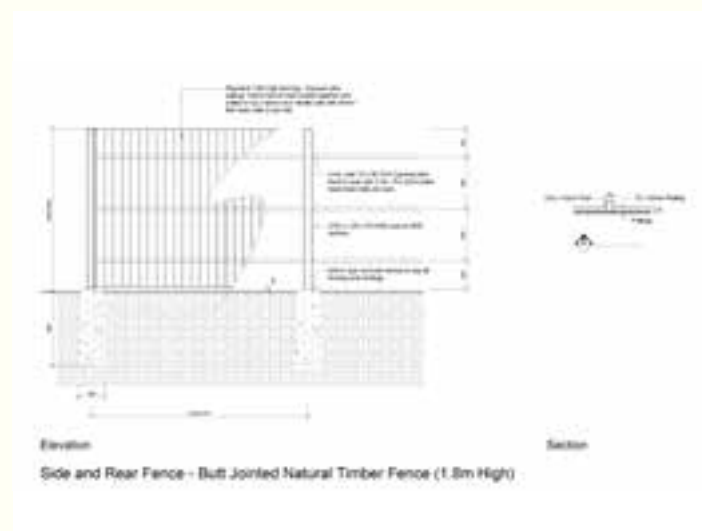
ESTATE FENCE TYPE 3B : DRAINAGE EASEMENT
- FIGURE 8.2.3.B



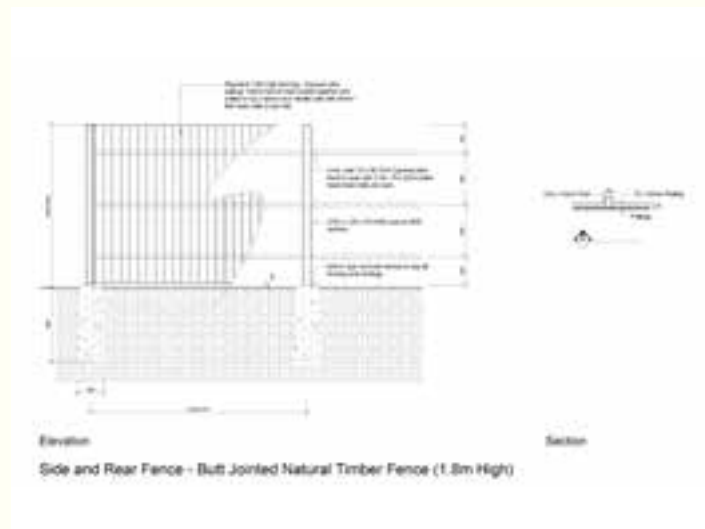
ESTATE FENCE TYPE 4A : SECONDARY
- FIGURE 8.2.4.A



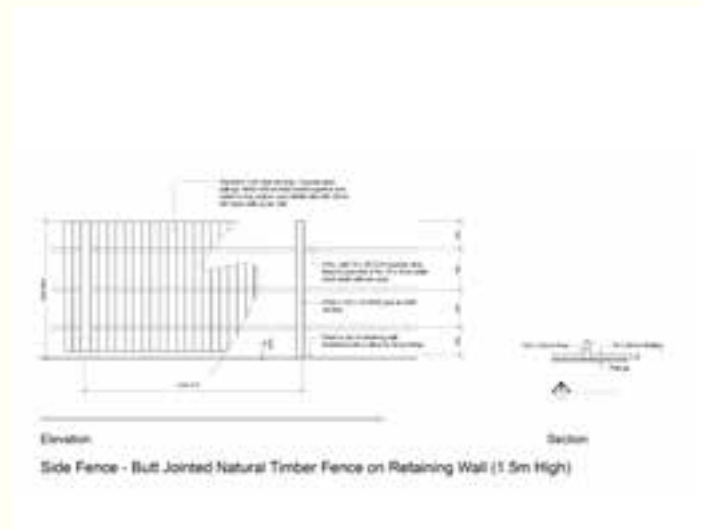
ESTATE FENCE TYPE 4B : LOT 68
- FIGURE 8.2.4.B



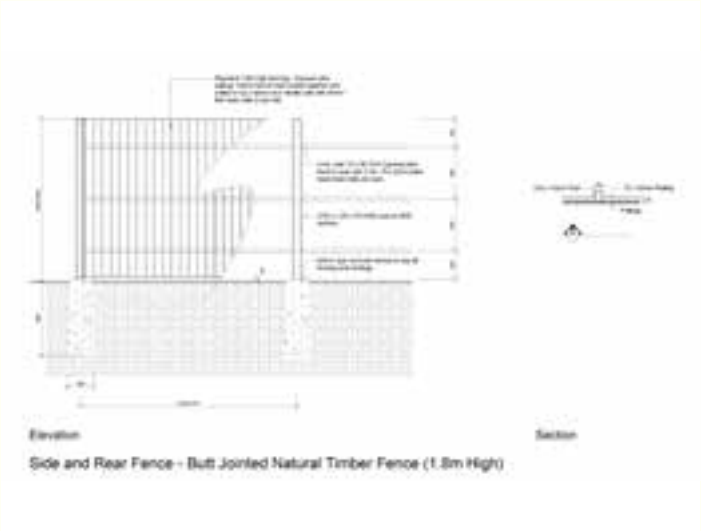
ESTATE FENCE TYPE 5A : PATHWAY
- FIGURE 8.2.5.A



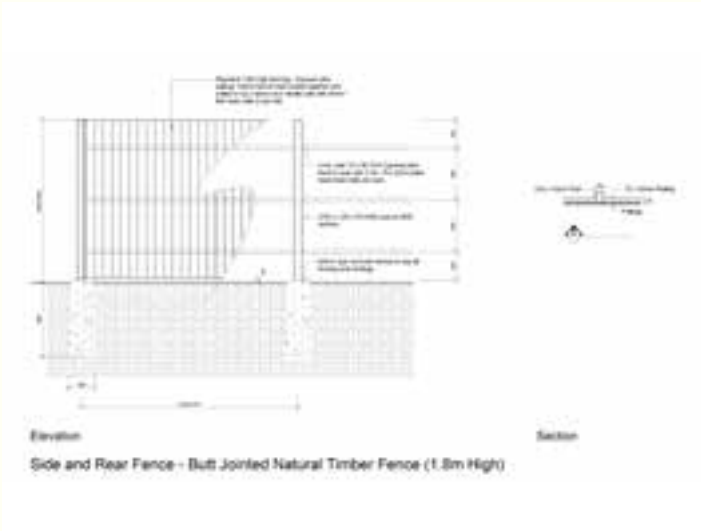
ESTATE FENCE TYPE 5B : PATHWAY
- FIGURE 8.2.5.B



OWNER/BUILDER FENCE TYPE 6 : SIDE & REAR
- FIGURE 8.2.6



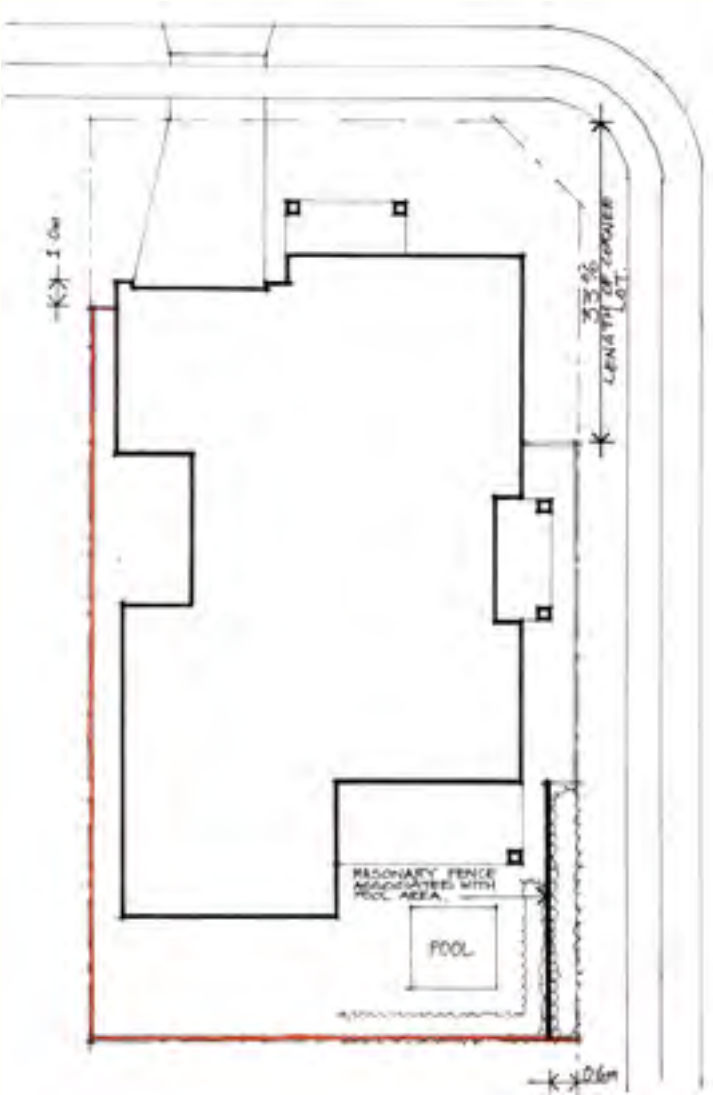
PMT FENCE TYPE 7 : PMT
- FIGURE 8.2.7



8.5 SIDE AND REAR FENCING

- Side and rear fencing is required.

SIDE AND REAR FENCING AND FENCE RETURNS
(STANDARD LOT) – FIGURE 8.5.1



COMPLIANCE TABLE 8.5
KINGSCOAST DESIGN GUIDELINES
<ul style="list-style-type: none">• Side & Rear fences (between lots) are controlled by the Kingscoast Design Guidelines.• The only materials permitted are capped Butt Jointed Natural Timber Fence or Colorbond fencing in the colour “Woodland Grey”.

8.6 SIDE GATES FENCES AND RETURNS

- Side fence must return to the dwelling.
- Side gates must match design of side fencing.

8.7 LETTERBOXES

- Letterboxes to be located as required by Australia Post.
- Timber post letterboxes are permitted – as a pair of minimum 100mm hardwood posts, with stainless steel letterbox in between.
- Masonry letterboxes are permitted – and must be rendered or high quality proprietary letterboxes.
- No letterboxes are permitted within the estate fencing.
- Variations to above require specific D.A.P. approval.

9. Landscaping Guidelines



9. Landscaping Guidelines

Many plants to create shade, provide improved privacy and in the case of North Coast New South Wales, create cool outdoor rooms.

9.1 LANDSCAPING

Buyers are required to provide landscaping to the front of their properties, and strongly encouraged to provide landscaping to the entire block.

Landscaping plans are to be submitted for approval as part of their application for approval by the D.A.P. The following are some guidelines to assist buyers and their landscape designers to prepare their designs.

9.2 INTRODUCTION

It is the responsibility of the buyer to meet the requirements of Tweed Shire Council & BASIX, including the Tweed Shire Urban Garden Guide.



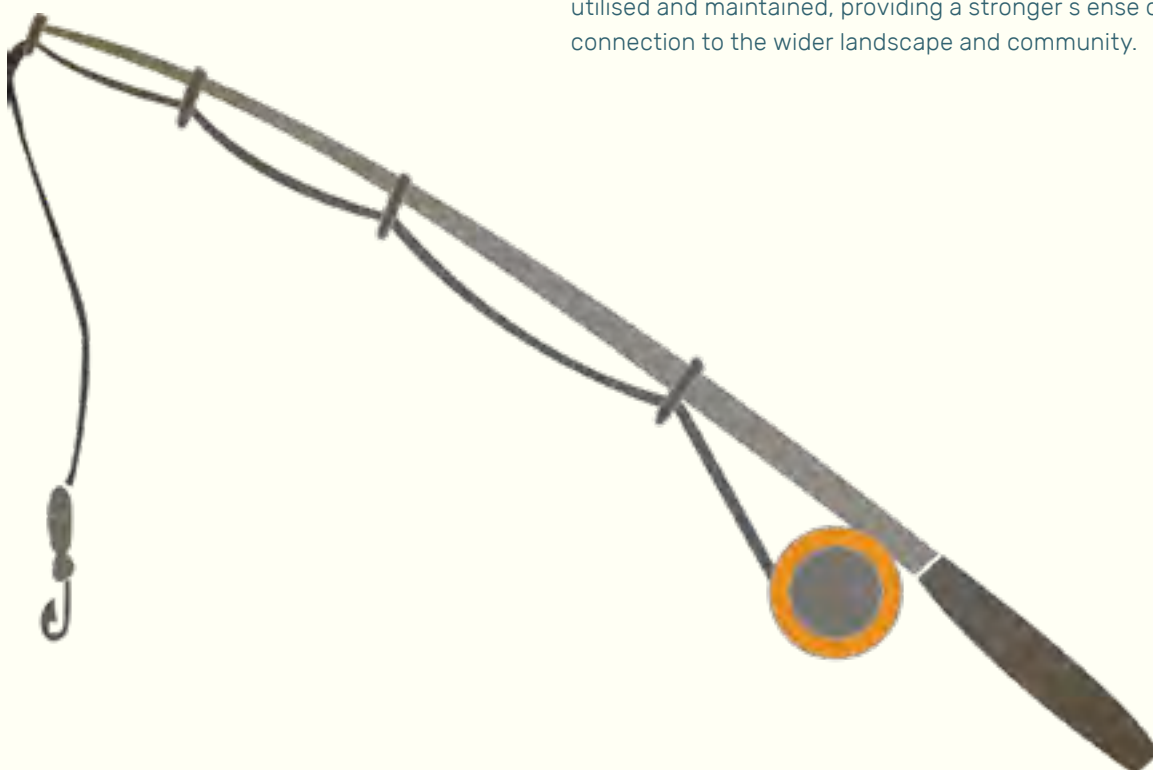
9.3 DESIGN CONSIDERATIONS

The implementation of sustainable landscape design in each residential allotment will contribute significantly to the sustainability of Kingscoast as a whole.

Residential landscape design should consider:

- Species with low water requirements.
- Potential for water capture and re-use.
- Indigenous species adapted to local environmental conditions.
- Solar access and shade into residences and gardens in different seasons.
- Limiting areas of traditional lawn which require on-going watering to maintain.
- Alternatives to lawn areas such as gravels, sands and grass substitute plants.
- Mulch use to reduce water loss and suppress weeds.
- Soil type and drainage.
- Activity spaces such as courtyards and barbecue areas.
- Privacy and screening planting.
- The inclusion of medium to large trees in front and back yards.
- The location of services such as communications, gas, water and electricity.

When gardens are comfortable and function as an extension of living spaces within the home, they are likely to be better utilised and maintained, providing a stronger sense of connection to the wider landscape and community.



9. Landscaping Guidelines

9.4 COMPOSTING

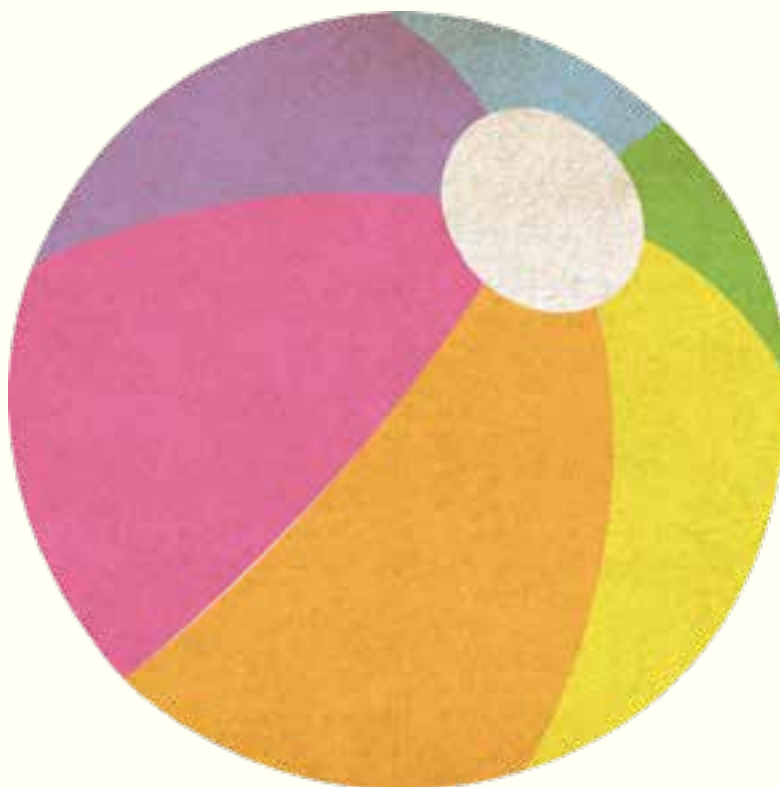
To promote a sustainable and active community recycling of green waste is encouraged. The type of compost facility and a suitable location must be nominated on the landscape plan for a 220L minimum compost bin.

9.5 SUGGESTED PLANT SPECIES - TREES

Local indigenous species are encouraged as they contribute to the unique environmental setting and will encourage birds and other native wildlife to inhabit the area.

9.5.1 INDIGENOUS / LOW WATER USE SPECIES

- There are requirements for minimum areas of indigenous low water use species of vegetation that you will commit to in your BASIX certificate.
- This will not be assessed by the D.A.P.



SUGGESTED PLANT SPECIES - TREES

Required front and backyard trees to be selected from the below species. Additional trees may be alternative suitable species.



Flindersia bennettiana
Bennett's Ash
15m height x 5m spread
Full sun to partial shade



Banksia integrifolia subsp. *integrifolia*
Coastal Banksia
8m height x 6m spread
Full sun



Cupaniopsis anacardioides
Tuckeroo
8m height x 8m spread
Full sun to partial shade



Elaeocarpus reticulatus 'Prima Donna'
Blueberry Ash
9m height x 4m spread
Full sun to partial shade



Callistemon viminalis
Weeping Bottlebrush
8m height x 5m spread
Full sun to partial shade



Magnolia grandiflora 'little gem'
Dwarf Magnolia
4m height x 2.5m spread
Full sun to partial shade



Buckinghamia celsissima
Ivory Curl
10m height x 8m spread
Full sun to partial shade



Pandanus tectorius
Screwpine
5m height x 5m spread
Full sun



Plumeria rubra
Frangapani
8m height x 7m spread
Full sun to partial shade



Randia fitzalanii
Native Gardenia
5m height x 4m spread
Full sun to partial shade



Xanthostemon chrysanthus
Golden Penda
15m height x 3m spread
Full sun to partial shade



Melicope elleryana
Pink-flowered Doughwood
10m height x 8m spread
Full sun to partial shade

9. Landscaping Guidelines

SUGGESTED PLANT SPECIES - LARGE + MEDIUM SHRUBS



Leptospermum polygalifolium
Yellow Tea Tree
2m height x 1.5m spread
Full sun to partial shade



Grevillea 'Honey Gem'
Grevillea
4m height x 3m spread
Full sun



Russelia equisetiformis 'Lemon Falls'
Yellow Firecracker Plant
1.5m height x 2m spread
Full sun



Banksia robur
Swamp banksia
2.5m height x 2m spread
Full sun



Cordyline fruticosa 'Kiwi'
Red Cabbage Tree
1m height x 1m wide
Part shade



Melastoma affine
Blue Tongue
2m Height x 1.5m Spread
Full sun to partial shade



Grevillea 'Robyn Gordon'
Grevillea
1.5m height x 1.5m spread
Full sun



Westringia fruticosa
Coastal Rosemary
2m height x 4m spread
Full sun to partial shade



Syzygium 'Cascade'
Lilly Pilly
3m height x 2m spread
Full sun



Melaleuca thymifolia
Thyme Honey Myrtle
1.5m height x 3m spread
Full sun to partial shade



Cordyline petiolaris
Broad Leaf Palm Lily
5m height x 3m spread
Partial shade



Alpinia zerumbet
Cream Shell Ginger
2m height x 2.5m spread
Full sun to partial shade

SUGGESTED PLANT SPECIES - SMALL SHRUBS



Agave attenuata
Century Plant
0.8m height x 0.8m spread
Full sun to partial shade



Alyogyne huegelii 'Blue Heeler'
Native Hibiscus Blue Heeler
0.3m height x 1m spread
Full Sun



Austromyrtus dulcis
Midgenberry
0.5m height to 0.8 spread
Full sun to partial shade



Banksia spinulosa 'Birthday Candles'
Dwarf Banksia
0.6m height x 1.2m spread
Full sun



Callistemon viminalis 'Better John'
Bottlebrush
1m height x 1m spread
Full sun



Leptospermum laevigatum
'Shore Tuff'
Coastal Tea Tree
0.5m height x 1.2m spread
Full sun



Grevillea preissii 'Sea Spray'
Grevillea
0.5m height x 3m spread
Full sun



Pittosporum tobira 'Miss Muffet'
Dwarf Pittosporum
1m height x 1.5m spread
Full sun to partial shade



Zamia furfuracea
Cardboard Palm
1m height x 1.8m spread
Full sun to partial shade



Philodendron 'Xanadu'
Compact Philodendron
0.8m height x 0.8m spread
Full sun to partial shade



Gardenia augusta 'Radicans'
Rock Gardenia
0.5m height x 1.5m spread
Full sun to partial shade



Phyllanthus multiflorus
Waterfall Plant
1m height x 1m spread
Full sun

9. Landscaping Guidelines

SUGGESTED PLANT SPECIES - GROUNDCOVERS, CLIMBERS + TUFTING



Carpobrotus glaucescens
Pigface
0.3m height x 2m spread
Full sun



Casuarina glauca 'cousin it'
Dwarf She Oak
0.3m height x 1m spread
Full sun to partial shade



Hymenocallis littoralis
Beach spider lily
0.7m height x 0.7m spread
Full sun



Grevillea rivularis x *G. Fanfare*
Grevillea Carpet Crawl
0.5m height x 2m spread
Full sun



Dichondra repens 'Silver Falls'
Kidney Weed
0.5m height x spreading
Full sun to shade



Dietes grandiflora
Wild Iris
1.5m height x 1m spread
Full sun to partial shade



Dianella caerulea
Blue Flax Lily
0.8m height x 0.3 spread
Full sun to partial shade



Hardenbergia violacea
Native Sarsparilla
3m height (supported) x 1.5m spread
Full sun to partial shade



Hibbertia scandens
Twining Guinea Flower
3m height (supported) x 3m spread
Full sun to partial shade



Scaevola calendulacea
Dune Fan Flower
0.5m height x 2m spread
Full sun



Pandorea jasminoides
Bower Climber
4m height x 4m spread
Full sun to partial shade



Lomandra hystrix
Riverine Mat Rush
1.5m height x 1.5m spread
Full sun to partial shade



Liriope muscari 'Evergreen Giant'
Giant Liriope
0.6m height x 0.5m spread
Full sun to partial shade



Myoporum parvifolium
Creeping Boobialla
0.5m height x 2m spread
Full sun



Hoya australis
Native Hoya
3m height (supported) x 1.0m spread
Full sun to partial shade



Grevillea 'Bronze Rambler'
Dwarf Grevillea
0.3m height x 4m spread
Full sun



Trachelospermum jasminoides
'Tricolour'
Variegated Star Jasmine
3m height (supported) x 3m spread
Full sun to partial shade



Senecio serpens
Blue Chalk Sticks
0.5m height x 1.0m spread
Full sun



Viola hederacea
Native Violet
0.2m height x 2m spread
Part shade to Shade



Neomarica gracilis
Walking iris
0.5m height x 1.5m spread
Part shade to Shade



9. Landscaping Guidelines

9.6 KEY POINTS FOR LANDSCAPE DESIGN

In accordance with Tweed Shire DCP 2008, at least 25% of the site must be covered by landscape areas comprising pervious surfaces.

- A minimum of one medium to large canopy tree is to be planted in the front yard facing primary frontage of each lot. The tree is to have a minimum pot size of 25 litres (300mm) and approximate height of 1m.
- The SEPP Housing Code requires:
- The above tree to achieve a height of 8m at maturity.
- An additional tree planted in the rear yard to achieve 5m at maturity.
- Privacy and screening is to be via an appropriate selection of shrubs and groundcovers.
- No more than 40% balance of the landscape area is to comprise of impervious surfaces (i.e. concrete, paving or decking).
- Refer **Section 6.16** for Private Open Space Dimensions.
- Trees are to be planted in an edged garden bed.
- A maximum of 30% of the front yard should be treated with turf. Although 100% planting is encouraged.
- A minimum of 25% of the front yard must be planter bed.
- A compost facility is shown on the landscape plan, located with easy access and placed on bare ground.
- Landscaping should include mainly drought tolerant species. Native plants are encouraged to foster local wildlife and reduce irrigation.
- Rainwater capture and reuse is highly encouraged to reduce the reliance on tap water for garden use.
- Tree plantings should be positioned to provide summer shade and allow winter sun penetration into the house and garden areas.
- Trees should be planted to avoid services and provide protection from the western sun.
- Appropriate sized species shall be chosen in accordance with the scale of the dwelling, i.e. Taller tree species shall be selected for two storey homes.

9.7 SWIMMING POOL & OUTDOOR SPAS (ENGINEERING OR COMPLIANCE NOT ASSESSED BY D.A.P.)

- Owners or builders are responsible for obtaining all required approvals for the construction of a pool.
- Pools located within primary and secondary street frontages need to demonstrate that fencing and retaining does not affect streetscape.
- Privacy and noise should also be a consideration for neighbours and future occupants.
- Owners or Builders responsible for engineering, particularly adjacent retaining walls.

9.8 LANDSCAPE COMPLETION PERIOD



- Landscape works to the street frontage of residences must be completed within 6 months of the certificate of occupancy being issued to visually soften newly constructed buildings and help create a cohesive estate landscape character.

9.9 REAR & SIDE LANDSCAPING AGAINST EXTERNAL ESTATE POOL FENCING (TYPES 1, 2, 3)

Owner's are required to install and maintain landscape against external pool type fencing. Landscape to be:

- Minimum 600mm wide
- Minimum 900mm high
- Able to Maintain Non Climb Zones.

Refer to

• **Figures 8.2 Estate Fencing**

• **Figures 7.6 Setbacks to Civil Infrastructure.**

EP. 10 LANDSCAPE PROPERLY

The benefits of a planned landscape around your new home can be measured on many levels. Not only does landscaping add value to your home, but considered and well-planned landscapes can add to the daily quality of your life and improve the function of your home.

Use plants to create shade; provide improved privacy and in the case of North Coast New South Wales, create cool outdoor rooms that become an extension of your home. Trees can shade certain areas of your garden and provide protection from hot afternoon/Western sun. While strategically placed planting can assist to direct airflow as well as cool hot breezes before entering the house.

The use of locally native or indigenous species is encouraged, as these plants are best suited to the local environment and are more likely to grow faster, look healthier and require less ongoing maintenance. Using local species is also good for local environment and wildlife.

Spreading garden planting to provide landscaping out onto the nature strip increases your landscape footprint & local habitat while minimising the need for mowing.



Consider how to shade exposed north walls with taller canopy trees, clear trunks and low level planting to allow cooler southerly breezes through. Protect east and west facing walls with shade from mixed height plantings.

Use vegetation or shade structures (pergolas or shade sails) associated with paving and driveways to reduce radiating heat and glare. Selecting lighter coloured paving and ground treatments can also minimise radiating heat.

The landscape guidelines and plant species recommendations have been prepared to assist new home owners develop their landscape treatments to ensure an integrated outcome for their home.



10. Ancillary Structures, Recreational Vehicles & Equipment

10.1 OVERVIEW

- To maintain an attractive and desirable streetscape, lot owners are required to locate, store, park, and screen the following items 'out-of-sight' of street frontages.
- Requirements apply to both primary & secondary street frontages.
- Noisy items must minimise noise intrusion to neighbouring lots.
- Colours to be non-obtrusive, and signage to be non-offensive.

10.2 ANCILLARY STRUCTURES

RAINWATER TANKS

AIR CONDITIONERS

Roof mounting not allowed.

SOLAR PANELS (PHOTOVOLTAIC & HOTWATER TANKS)

Not unduly visible from street.

ANTENNAE

Colour matched to roof & located behind street front ridge line.

SATELLITE DISHES

Colour matched to roof & located behind street front ridge line.

WIND DRIVEN VENTILATORS & NATURAL SKYLIGHTS

Located behind street front ridge line.

CLOTHES LINES

Outdoor or unsheltered.

GAS SYSTEMS

(Compliance not assessed by D.A.P.).

HEATING/COOLING SYSTEMS/PUMPS/GAS STORAGE /EXHAUST VENTILATION/IRRIGATION

HOT WATER RECIRCULATION OR DIVERSION SYSTEMS

PUMPS

Must be acoustically treated, or located away from side boundaries. Timers should be considerate of neighbours.

– No pumps after 7pm.

WOOD HEATERS

Discharge through roof only.

REFUSE BINS

SERVICE YARDS

SHEDS

Must be located at the rear, and located no higher than the fence line.

10.3 RECREATIONAL VEHICLES & EQUIPMENT

Items that need to be 'out of sight' from streets include;

- Caravans & trailers.
- Boats & jet skis.
- RVs, buggies & golf carts.
- Trampolines, swing sets & adventure playground equipment.





11. Submission Checklist

The buyer must submit to the D.A.P. and the seller the final working drawings and specifications, before the buyer or their builder apply for building approval.

Please go through this list and ensure that you have all the elements provided for in your submission.

All buildings are still required to comply with either Tweed DCP or SEPP Housing Code.

Any relaxations approved by D.A.P., still require Tweed Shire Council approval.

CONTRACT PRICE

- ☐ Building contract price

CONFIRM WHICH PLAN OR CODE YOU ARE APPLYING FOR

- ☐ Tweed Shire Council
- ☐ SEPP Housing Code 2017

DESIGN ELEMENTS SITE WORKS

- ☐ Earthworks are clearly indicated and approved by registered engineer.

ROOF FORM, MATERIALS AND COLOURS

- ☐ Roof is articulated and interesting, acceptable materials and colours selected.
- ☐ Solar panel location.

MANDATORY GENEROUS PORCH AND BALCONY

- ☐ Primary Road Porches and balconies are dimensioned, minimum 1.5m deep.
- ☐ Confirm treatment to underside of balconies.

WALL MATERIALS AND COLOURS

- ☐ Visible elevations are simple and modern, acceptable materials and colours selected.
- ☐ Street Elevation and Side Elevation and Rear Elevation.
- ☐ Return of Façade Material Down Side Elevations dimensioned.
- ☐ Percentage of feature brick or highlight colours noted on elevations.
- ☐ Colour palette to be complete, including garage door and elements in section 6.

DWELLING ENTRIES

- ☐ Entry is clearly indicated and integrated into design.

DWELLING AREA

- ☐ Dwelling areas are shown on plans.

HEIGHT

- ☐ Proposed dwelling does not exceed height limits.

LOTS FACING PUBLIC PATHS & PUBLIC RESERVES

- ☐ Two storey minimum dwelling height.
- ☐ Other special requirements clearly noted.

FLOOR SPACE RATIO / GROSS FLOOR AREA

- ☐ Calculations clearly indicate compliance with Tweed Shire definitions or SEPP definition.
- ☐ **Compliance Table 6.13** must be completed and clearly shown on site plan.

PRIVATE OPEN SPACE

- ☐ Calculations clearly indicate compliance with relevant definitions.
- ☐ Private Open Space dimensions clearly shown.

ORIENTATION

- ☐ Passive solar design principles have been considered.
- ☐ Outlook to views have been considered.

VIEWS, OVERLOOKING & PRIVACY

- ☐ Privacy has been considered. Screens comply with Tweed Shire definitions.

ACOUSTIC TREATMENTS

- ☐ Not assessed by D.A.P.

ENERGY EFFICIENCY

- ☐ BASIX certification is required.

GARAGES AND CARPORTS

- ☐ Plans & elevations clearly indicate compliance with garage requirements, relating to parking spaces, garage width, door material/type and carport screen.
- ☐ Zero Lot Line Garages. Compliance is not assessed by D.A.P.

DRIVEWAYS AND CROSSOVERS

- ☐ Crossover is located as per Site Plan, acceptable material selected.
- ☐ Plans clearly show that the plain concrete footpath take precedent over the driveway – refer to standard drawings on plans.
- ☐ Demonstrate that driveway comply with Tweed Shire Council grades.

DUAL OCCUPANCY & HOUSES ON KEY VISTA LINES

- ☐ Plans clearly indicate additional requirements required.

SETBACKS

- ☐ Dimensioned plans and elevations must clearly indicate compliance with either Tweed DCP or SEPP Housing Code.
- ☐ Building Line Setbacks – primary & secondary streets.
- ☐ Side Boundary Setbacks.
- ☐ Articulation Zone – including percentage of area less than 25% shown.
- ☐ Encroachments.
- ☐ NCC/BCA requirements eaves within setbacks – compliance shown.

FENCING

- ☐ Primary Street.
- ☐ Proposal does not include front fence to primary street.
- ☐ Secondary street and public reserve fencing.
- ☐ Side and Rear.
- ☐ Colorbond 'Woodland Grey' or Capped Butt Joined Natural Timber Fence.
- ☐ Clearly indicate compliance with setback to side returns and colour matching.
- ☐ Estate Fencing is clearly shown on plans as not to be removed.

LETTERBOXES

- ☐ Letterbox in approved style.

LANDSCAPING DESIGN CONSIDERATIONS

- ☐ Landscape Plan provided, design is considered, key points addressed.
- ☐ 1 x med/large canopy tree to primary frontage.
- ☐ Additional rear yard tree under SEPP Housing Code.
- ☐ Fencing/screening is provided where required.
- ☐ Impervious surfaces limited – percentage shown.
- ☐ Drought tolerant species selected.
- ☐ Location nominated for a 220L minimum compost bin.
- ☐ Minimum 1.0m landscaping between driveway and side boundary.
- ☐ Front landscaping that is turf only will not be accepted.
- ☐ Planter bed 25% of front landscaping.

SWIMMING POOLS & OUTDOOR SPAS

- ☐ Owner & builder are responsible for all required approvals.

ANCILLARY STRUCTURES, RECREATIONAL VEHICLES & EQUIPMENT

- ☐ Demonstrate 'out of site' from the street frontages.



12. Application form

APPLICATION FORM

OWNER DETAILS

Lot Number:

Street:

Name/s:

Contact Number/s

Email:

Postal Address

BUILDER DETAILS

Company:

Contact Person:

Contact Number/s

Email:

Postal Address:

APPLICANT DETAILS (IF DIFFERENT FROM ABOVE)

Company:

Contact Person:

Contact Number/s

Email:

Postal Address:

ATTACHED

- ☐ Site Plan
- ☐ Floor Plan
- ☐ Elevations
- ☐ External colours & materials (complete)
- ☐ Signed fencing template
- ☐ Sustainability compliance report
- ☐ Landscape Plan (site specific)

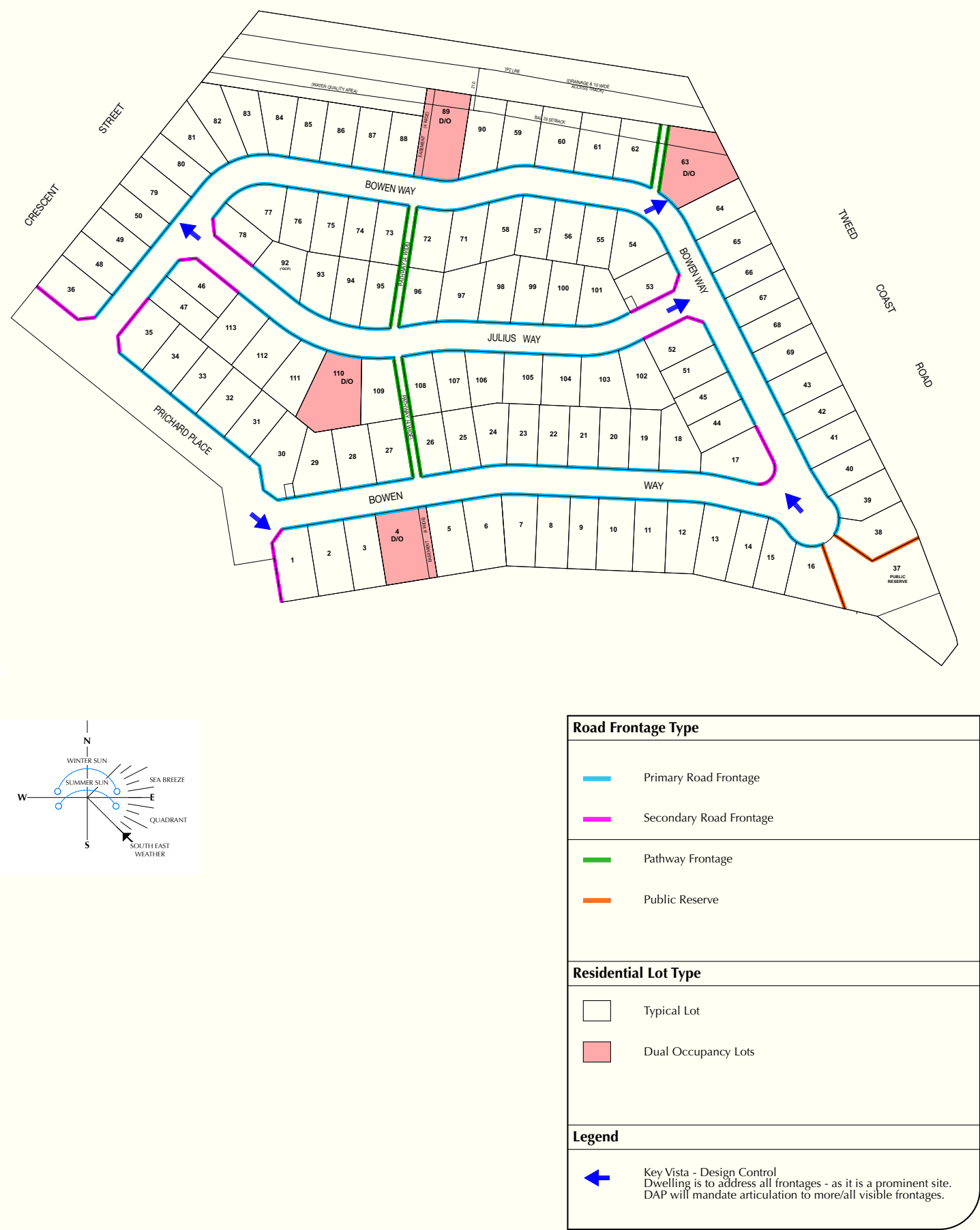
SUBMITTED BY

Name:

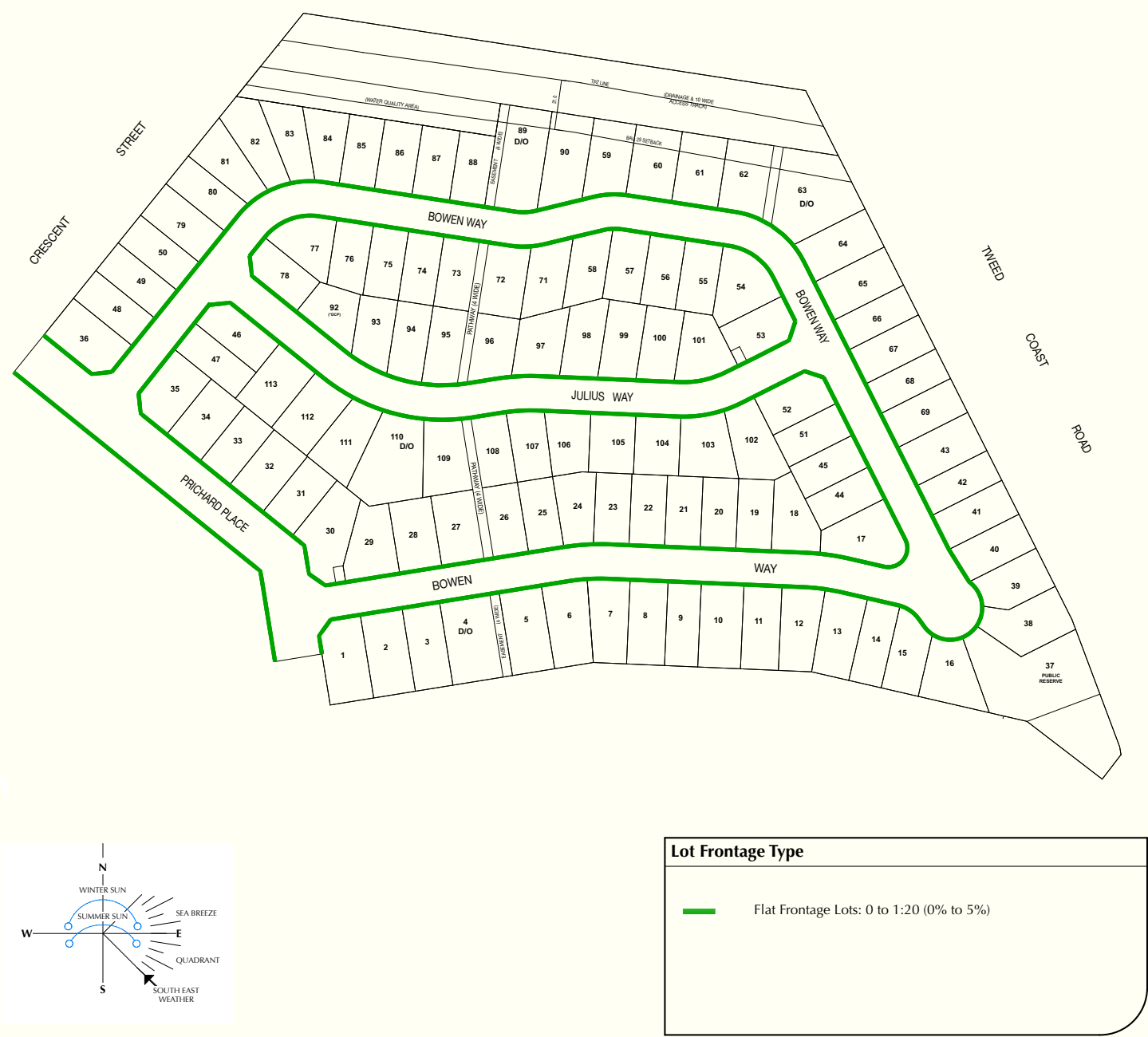
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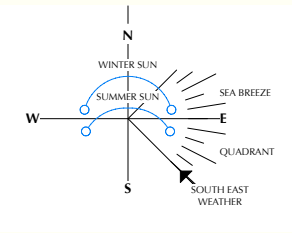
ROAD FRONTAGES MAP - FIGURE 3.2.1



LOT FRONTAGES MAP - FIGURE 3.3.1



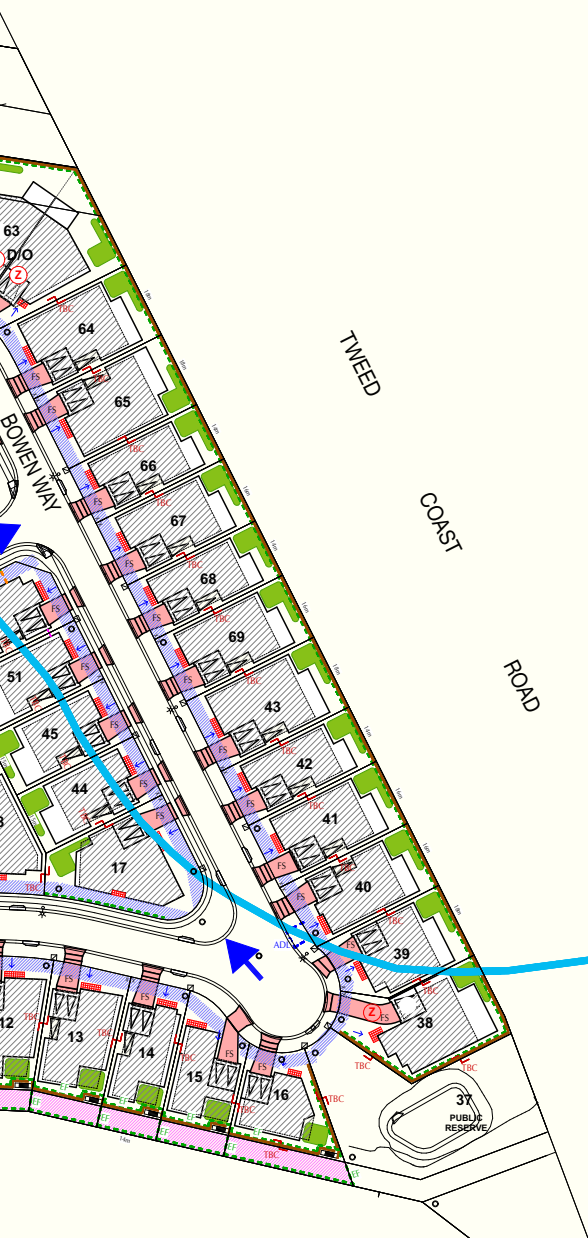
BUSH FIRE HAZARD MAP - FIGURE 3.4.1



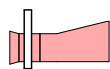


NEIGHBOURHOOD PLAN MAP - FIGURE 3.5.1





Legend



FS

Mandatory Driveway Location

* Developers Footpath to be continuous - refer Eng. Detail

Traditional Free Standing Garage (Zero Lot Not Acceptable)

(Z)

Zero Lot Garage - DAP Support
(Owner must refer to SEPP & DCP)

DOUBLE

(Z)

Double Zero Lot Garage - Acceptable
Side Wall Design must suit Double Zero Lot.



Double Garage Location -
Preferred 2nd Garage Door for drive thru 3rd car/boat/van.



Nominal POS Location (Private Open Space)
Orientated to North or East. Not to Scale.



Alt.
POS



Front Door - Position by Builder



Mandatory 1.5m Deep
Balcony, Extended Entry or Porch

(2St)

Mandatory 2 Storey or 1.5 storey Resort Style Portico



Key Vista - Design Control

Dwelling is to address all frontages - as it is a prominent site.
DAP will mandate articulation to more/all visible frontages.



Sewer Easement - Offset to Building required.
Engineered footings may also be required.



Stormwater Easement - Offset to Building required.
Undercutting of fences may also be required.



Civil Retaining Wall - Built by Developer.



Civil Stairs/Ramp - Built by Developer.



500

Approx Level Change
Between Lots



EF

Estate Fence by Developer - Refer Appendix
Including Side Returns - Corner Returns.
Location of gate - TBC.



SF

Side Fence - Including Gate & Returns -
By Builder -

Design Controlled by Developer
& SEPP & DCP requirements



Lot Tree
- by Owner



Street Tree
- by Developer



Nominal Extent of Ground Floor
- **subject to GFA / FSR requirements**



Nominal Extent of First Floor, Varies if
DCP or SEPP, height, and orientation.
- **subject to GFA / FSR requirements**



PMT

Padmount Transformer Site

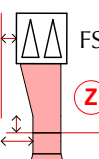
100m Coastal
Proximity Ln

Electrical
Pillar

Electrical
Power Pole

NBN Pit

Driveway Offsets from Boundary



(ADL)

Free Standing Garage

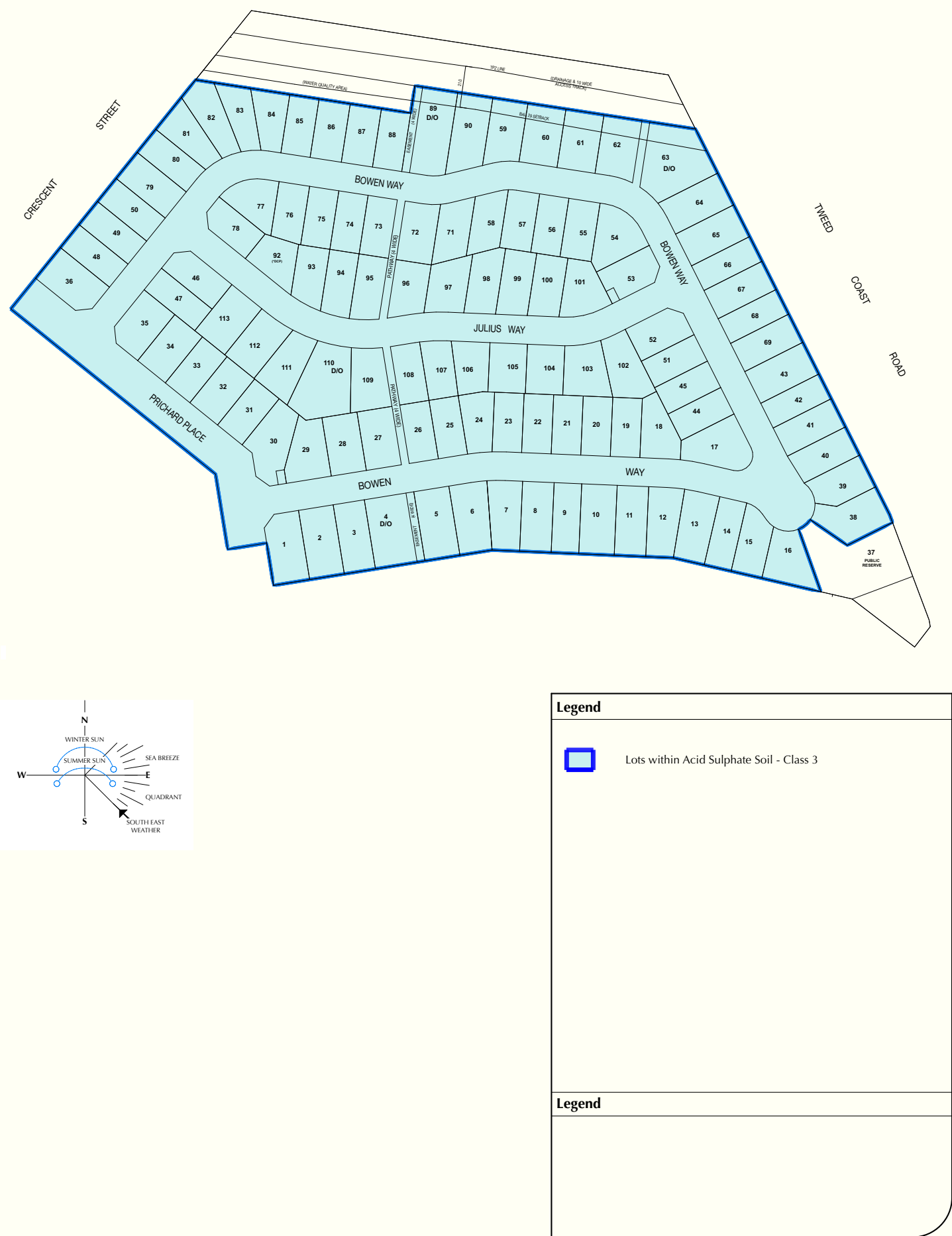
Minimum 2430mm Driveway Offset to Boundary
(design to avoid as built services)

Zero Lot Garage

Minimum 1000mm Driveway Offset to Boundary
(design to avoid as built services)

Alternative Driveway Location
(subject to Special DAP Approval).
(subject to Tweed Shire Approval).

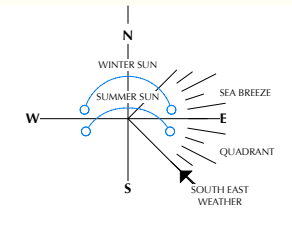
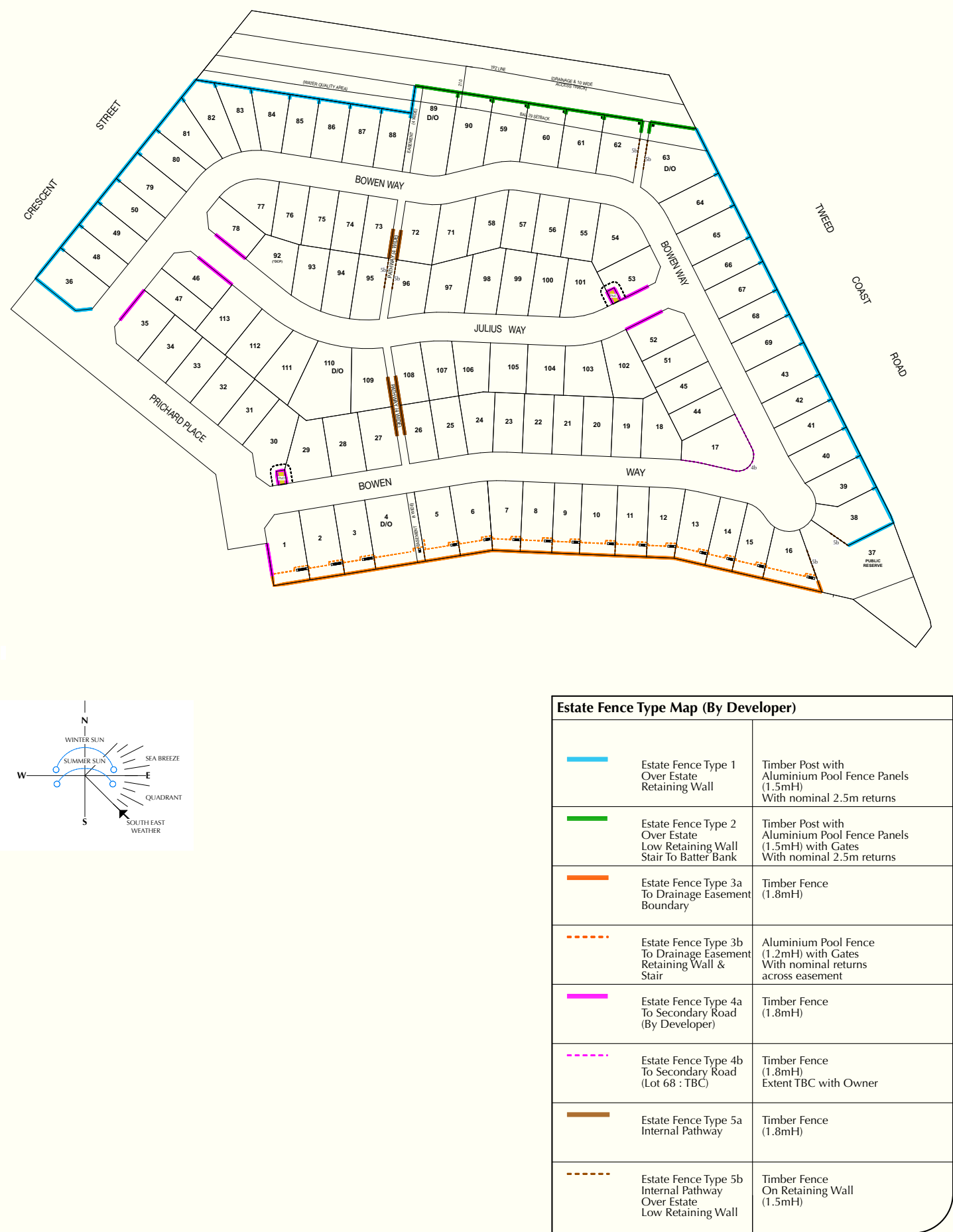
ACID SULPHATE SOILS MAP - FIGURE 3.6.1



COASTAL MANAGEMENT MAP - FIGURE 3.7.1



FENCE TYPE MAPS - FIGURE 3.8.1



Notes

This image shows a single sheet of white paper with horizontal blue ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

